

MEETING MINUTES

The Wiscasset Board of Selectmen, Tax Assessors & Overseers of the Poor met Thursday, August 16, 2018 at 10 a.m. in the Municipal Meeting Room.

Present: Chairman Judy Colby, Vice Chairman Benjamin Rines, Jr., Katharine Martin-Savage, Robert Blagden, Kimberly Andersson and Town Manager Marian Anderson.

Call the meeting to order

At 10 a.m. Chairman Judy Colby called the meeting to order

2. Executive Session: For the purpose of discussing economic development

A motion was made by Judy Colby, seconded by Katharine Martin-Savage to enter into Executive Session pursuant to 1 M.R.S.A §405 (6) (C) to discuss economic development, motion passed 5-0-0.

At 10:17 a.m. motion was made by Judy Colby, seconded by Katharine Martin-Savage to come out of Executive Session, motion passed 5-0-0.

A motion was made by Katharine Martin Savage to authorize the Town Manager to sign a listing agreement with Tim Dunham Realty for property located on Old Ferry Road (Map R08 Lot 06). Motion passed 4-0 (Blagden needed to be excused from the meeting and did not vote)

At 10 :20 a motion was made by Judy Colby, seconded by Katharine Martin-Savage to enter Executive Session pursuant to 1 M.R.S.A §405 (6) (A) to discuss a personnel matter, motion passed 4-0.

No action taken

3. Adjournment

At 11 a.m. a motion was made by Katharine Martin-Savage, seconded by Benjamin Rines, Jr. to adjourn, motion passed, 4-0-0.

3b

WISCASSET SELECT BOARD,
TAX ASSESSORS AND OVERSEERS OF THE POOR
AUGUST 21, 2018

Preliminary Minutes

Present: Kim Andersson, Bob Blagden, Chair Judy Colby, Kathy Martin-Savage, Vice Chair Ben Rines, Jr. and Town Manager Marian Anderson

Chair Judy Colby called the meeting to order at 6 p.m.

1. Pledge of Allegiance

2. Approval of Treasurer's Warrants

- a. **Kathy Martin-Savage moved to approve the payroll warrant of August 17, 2018. Vote 5-0-0.**
- b. **Kathy Martin-Savage moved to approve the accounts payable warrant of August 21, 2018. Vote 5-0-0.**

3. Approval of Minutes

Ben Rines, Jr. moved to approve the minutes of August 14, 2018 as amended. Vote 5-0-0.

4. Special Presentations or Awards

Marian Anderson introduced the new police chief Larry Hasseltine who thanked the board for the opportunity to serve Wiscasset. In his 30 years' police experience, he has been involved with the community, the DARE program, Special Olympics and community policing and looked forward to working with Wiscasset.

Colby said the town had received donation of a flag which belonged to Brewster Doggett, a long time Wiscasset resident, to be used where needed in Wiscasset or to be given to the American Legion or Westport Island.

5. Committee Appointments – none

6. Public Hearings – none

7. Public Comment

Tom Bryant presented a letter to the board asking that the board to instruct the Code Enforcement Officer to have the Planning Board conduct a site plan review of the Conex box storage units at both of Al Cohen's locations (Route 1 and JB's Way). He added that he could not find evidence that a public hearing had been held when the fireworks store opened, and he asked that a first-time application and a public hearing be required.

8. Department Head or Committee Chair:

a. Department Head Monthly Reports: Kim Andersson noted that the EMS, police and fire department reports were missing.

b. Update on Transfer Station Forklift – Ron Lear, Transfer Station Superintendent: Lear reported that the forklift had been examined by New England Industrial Truck, Inc. who found that the engine needed replacing at an estimated cost of \$13,185. A new forklift will cost \$24,000-\$28,000. Lear said he could pay for the new forklift using \$2,400 left over from last year's budget and include a monthly payment in his next year's budget. He said the Transfer Station had brought in \$32,000 more than expected last year. After discussion including the fact that other towns would be contributing to the cost, and it would have been preferable to have an independent mechanic give an estimate on repairs, **Kim Andersson moved that we authorize the Transfer Station Department Head to trade in our forklift for a new one using \$2,400 in the last year's budget and then including the payment in next year's budget.** Vote 3-2-0 (Martin-Savage and Blagden opposed).

9. Unfinished Business

a. TAN Award Update: Sanford Institute for Savings had submitted the lowest bid. **Judy Colby moved: (1) That under and pursuant to Title 3-A, Section 5771 of the Maine Revised Statutes as amended and supplemented, there be and hereby is authorized the issuance of a \$1,347,000 principal amount Tax Anticipation Note of the Town in anticipation of the receipt of taxes for the municipal fiscal year which commenced July 1, 2018, and ends June 30, 2019. (2) That said Note shall be dated on or about August 31, 2018, shall mature on June 30, 2019, shall be signed by the Treasurer and countersigned by the Chairman of the Board of Selectmen, shall bear interest at the rate of 1.2% per annum on a 30/360 day basis, and shall be payable at the Sanford Institute for Savings, and otherwise be in such form and bear such details as the signers may determine. (3) That said Note is hereby sold and awarded to Sanford Institute for Savings. (4) That said Note is hereby designated qualified tax-exempt obligation of the Town for the 2018 calendar year pursuant to the Internal Revenue Code of 1996. (5) that all things heretofore done, and all action heretofore taken by the Town, its municipal officers and agents in the authorization of said Note are hereby ratified approved and confirmed and the Treasurer and Chairman are each hereby authorized to take any and all action necessary or convenient to carry out the provisions of this voting, including delivering said Note against payment therefor.** Vote 5-0-0.

b. Comp Plan Update: Marian Anderson said letters had been sent to members of the former Comp Plan Committee asking if they were interested in participating in a new Comp Plan Committee or had recommendations of others who might be interested. The town will then advertise for committee members.

c. White's Island Update: Anderson said Public Works had erected signage and blocked off all access to the island. The pilings had been secured, not removed.

10. New Business

a. Bid Openings

• Wiscasset Community Center – Water Chemistry Controller and Chlorine Feed System. A bid of \$10,240.76 was received from Streamline Aquatics. **Kim Andersson moved to authorize the Town Manager and the Parks and Recreation Director to review the bids and award the Water Chemistry**

Controller and Chlorine Feed System bid to the lowest qualified bidder. \$10,000 was budgeted and \$240 can be taken from the Parks and Recreation budget, if needed. **Vote 5-0-0.**

b. Monthly Financials

- Year to date department expense summary: Anderson said all departments are doing well.
- H.M. Payson Statement of Account: The Investment Committee will meet the third Thursday in September. Kim Andersson volunteered to be on the committee.

c. New Business License Application

- Debra Torre, DBA Idlewild Farm: **Kim Andersson moved to approve the Business License Application for Debra Torre, DBA Idlewild Farm. Vote 5-0-0.**

f. Carry Forwards

- 25-06-03-05 Finance: \$5,250 (pending tax lien & sewer discharges and software enhancement)
 - 25-12-60-01 Municipal Building: \$6,000 (town clock face repairs and scout hall stairs)
 - 27-01-10-02 Police: \$5000 (union negotiations wages and retro pay)
- Total carry forwards \$16,250.00

Kim Andersson moved to authorize the Treasurer to carry forward the sum of \$16,250 and spend if needed. Vote 3-2-0 (Bob Blagden and Ben Rines, Jr. opposed).

11. Town Manager's Report

Anderson referred to the Lincoln County calendar, specifically September 20 at 6 p.m. the caucus for election of Budget Committee.

Anderson said there had been no PAC report on the trees downtown; however, the committee met with MDOT who will support and pay for the trees if the board makes the decision to have trees. **Kathy Martin-Savage moved to advise the MDOT we want trees at their cost and planted.** Bob Blagden said the PAC had voted against trees. The latest plan is to plant trees in a large barrel-like container in the ground so that the roots would spread out under the barrel. **Vote 5-0-0.** The PAC report is expected at the next meeting.

The Town Manager introduced the Police Chief's family and the Superintendent of Schools, Terry Wood.

12. Other Board Business

Treasurer Vernice Boyce said the auditors would attend the next board meeting so the board could set the mill rate on September 4.

13. Adjournment

Kathy Martin-Savage moved to adjourn the meeting at 7:20 p.m. **Vote 5-0-0.**

6a



**TOWN OF WISCASSET
PUBLIC HEARING**

The Board of Selectmen will hold a public hearing on Tuesday, September 4, 2018 at 6:00 p.m. in the Municipal Building Hearing Room. The purpose of the hearing is as follows:

To act upon requests for an Annual License for the Sale of Consumer Fireworks from the following businesses:

- Big Al's Outlet, Inc. d.b.a, Big Al's Fireworks Outlet, 300 Bath Road, Wiscasset
- Big Al's Outlet, Inc., 2 JBs Way, Wiscasset



Town of Wiscasset
Sale of Consumer Fireworks
Annual License from the Board of Selectmen

Please Note: The Board of Selectmen shall issue a license if they find the applicant: has not been convicted of a Class A, B or C crime; has not through the use of fireworks, Consumer Fireworks or in any other way, created a danger to the general public; and has complied with all federal, state and local laws, ordinances, rules and regulations (12.3.2.3).

Date: 8/25/18 Map: R07 Lot: 008A

Company Name: Big ALS Outlet Inc.

Address: 2 3R's way

Town/City, State & Zip Code: Wiscasset ME

Phone Number: 207-882-8422 Fax Number: 207 882-5225

Name of Insurer: Scottsdale Insura Co. Policy #: CPS 2885769

State License Number: CFS 14 (Please include a copy of State License)

Property Owner's Name: Allen Cohen

Property Owner's Address: 141 Cashman Point Rd.

Property Owner's Town/City, State & Zip Code: Wiscasset, ME 04578

Code Enforcement Officer: [Signature] Brian M. Mullis 8-27-18
 Signature Printed Name Date

To the best of my knowledge and belief, all information on this application, and submitted in support of/with the application, is true and correct and all proposed consumer sales of fireworks activities will conform with this application and the Town of Wiscasset's Ordinance, as applicable.

Company Signature: [Signature] Al Cohen 8/25/18
 Signature Printed Name Date

***The applicant shall be responsible for any costs associated with this application including any advertising requirements.**

Office Use Only		
By vote of the Wiscasset Board of Selectmen: _____		Date: _____
Chair Wiscasset Board of Selectmen: _____	Signature	Printed Name
	_____	Date
___ Approved	___ Not Approved	___ Needs additional information

COPY



STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
AUGUSTA, ME 04333-0001

License for Consumer Fireworks Retail Store

License No. CFS14

In accordance with the provisions of M.R.S.A. Title 8, Chapter 223-A, permission is hereby granted to sell consumer fireworks as follows:

Expiration Date: 03/27/2019
Store: BIG AL'S FIREWORKS OUTLET
Location: 300 BATH RD, US ROUTE 1, WISCASSET, ME 04578
Owner: BIG AL'S OUTLET INC.
Owner Address: PO BOX 720, BOOTHBAY HARBOR, ME 04538-0720

A handwritten signature in black ink, appearing to be 'Al', written over a horizontal line.

SIGNATURE OF LICENSEE

A handwritten signature in black ink, appearing to be 'John E. Moran', written over a grid background.

COMMISSIONER OF PUBLIC SAFETY

COPY



NOTICE OF CLEARANCE

for individuals transporting, shipping, receiving, or possessing explosive materials.

ISSUED TO: BIG ALS OUTLET INC

Federal Explosives license/permit no.: 6-ME-015-53-1G-00165

NOTICE DATE: 06/25/2018

Expiration Date: **July 1, 2021**

EXPIRATION DATE: This Notice expires when superseded by a newer Notice which will list all current responsible persons and employee possessors, or when the license or permit expires - whichever comes first.

Explosives License/Permit Type: 53-DEALER OF EXPLOSIVES

- 1 **WARNING.** Only those individuals listed below as **RESPONSIBLE PERSONS** and **EMPLOYEE POSSESSORS** with a background clearance status of "CLEARED" or "PENDING" are authorized to transport, ship, receive, or possess explosive materials in the course of employment with you.
- 2 **"DENIED" STATUS.** If an employee possessor has a background clearance status of "DENIED", you **MUST** take immediate steps to remove the employee from a position requiring the transporting, shipping, receiving, or possessing of explosive materials. Also, if the employee has been listed as a person authorized to accept delivery of explosive materials, you **MUST** remove the employee from such list and immediately, and in no event later than the second business day after such change, notify distributors of such change, as stated in 27 CFR 555.33(a).
- 3 **CHANGE IN RESPONSIBLE PERSONS.** You **MUST** report any change in responsible persons to the Chief, Federal Explosives Licensing Center, within 30 days of the change and new responsible persons **MUST** include "appropriate identifying information" as defined in 27 CFR 555.11. Fingerprints and photos are **NOT** required, however they will be required upon renewal of the license or permit.
- 4 **CHANGE OF EMPLOYEES.** You **MUST** report any change of employee/possessors to the Chief, FELC, within 30 days. Reports relating to newly hired employees must be submitted on ATF Form 5400.28 for **EACH** employee.

Premises Address: 298 BATH RD ROUTE 1 WISCASSET, ME 04578
Mailing Address: BIG ALS OUTLET INC BIG ALS FIREWORKS OUTLET PO BOX 720 BOOTHBAY HARBOR, ME 04538

COPY

This 'Notice of Clearance' is provided to you as required by 18 U.S.C. 843(h) and **MUST** be retained as part of your permanent records and be made available for examination or inspection by ATF officers as required by 27 CFR 555.121. If you receive a Notice subsequent to this Notice, this Notice will no longer be valid.

In accordance with 27 CFR 555.33, Background Checks and Clearances, and 27 CFR 555.57, Change of Control, Change in Responsible Persons, and Change of Employees, ATF's Federal Explosives Licensing Center (FELC) has conducted background checks on the individual(s) you identified as a responsible person(s) and an employee/possessor(s) on your application, or reported after the issuance of your license/permit.

The following is a SUMMARY of the results of the background checks conducted on the individuals you reported as responsible persons and employee/possessors. ATF will be notifying ALL individuals listed on this document of their respective status by separate letter mailed to their residence address.

PLEASE BE ADVISED THAT IT IS UNLAWFUL FOR ANY PERSON REFLECTING A STATUS OF "DENIED" TO TRANSPORT, SHIP, RECEIVE, OR POSSESS EXPLOSIVE MATERIALS.

Please carefully review this Notice to ensure that all the information is accurate. If this Notice is incorrect, please return the Notice to the Chief, FELC, with a statement showing the nature of the error(s). The Chief, FELC, shall correct the error, and return a corrected Notice.

Number of **RESPONSIBLE PERSON(S)** : 2
 Number of **EMPLOYEE POSSESSOR(S)**: 0

LAST NAME, First Name, Middle Name	Clearance Status
RESPONSIBLE PERSONS:	
	2
0001 COHEN, ALLEN STEVEN	Cleared
0002 WALSH, RAYMOND LAWRENCE	Cleared

EMPLOYEE POSSESSORS: 0

continued

LAST NAME, First Name, Middle Name	Clearance Status

6-ME-015-53-1G-00165, expiration date: July 1, 2021, BIG ALS OUTLET INC OF BIG ALS FIREWORKS OUTLET, 298 BATH RD ROUTE 1, WISCASSET, ME 04578

In accordance with the provisions of Title XI, Organized Crime Control Act of 1970, and the regulations issued thereunder (27 CFR Part 555), you may engage in the activity specified in this license or permit within the limitations of Chapter 40, Title 18, United States Code and the regulations issued thereunder, until the expiration date shown. **THIS LICENSE IS NOT TRANSFERABLE UNDER 27 CFR 555.53.** See "WARNINGS" and "NOTICES" on reverse.

Direct ATF ATF - Chief, FELC
Correspondence To 244 Needy Road
Martinsburg, WV 25405-9431

License/Permit Number
6-ME-015-53-1G-00165

Chief, Federal Explosives Licensing Center (FELC)
Christopher R. Reers

Expiration Date
July 1, 2021

Name
BIG ALS FIREWORKS OUTLET

Premises Address (Changes? Notify the FELC at least 10 days before the move.)
**298 BATH RD ROUTE 1
WISCASSET, ME 04578-**

Type of License or Permit
53-DEALER OF EXPLOSIVES

Purchasing Certification Statement

The licensee or permittee named above shall use a copy of this license or permit to assist a transferor of explosives to verify the identity and the licensed status of the licensee or permittee as provided by 27 CFR Part 555. The signature on each copy must be an original signature. A faxed, scanned or e-mailed copy of the license or permit with a signature intended to be an original signature is acceptable. The signature must be that of the Federal Explosives Licensee (FEL) or a responsible person of the FEL. I certify that this is a true copy of a license or permit issued to the licensee or permittee named above to engage in the business or operations specified above under "Type of License or Permit."

Mailing Address (Changes? Notify the FELC of any changes.)

BIG ALS OUTLET INC
BIG ALS FIREWORKS OUTLET
PO-BOX 720
BOOTHBAY HARBOR, ME 04538-

COPY

Licensee/Permittee Responsible Person Signature

Position/Title

Printed Name

Date

Previous Edition is Obsolete BIG ALS OUTLET INC-298 BATH RD ROUTE 1-04578-6-ME-015-53-1G-00165-July 1, 2021-53-DEALER OF EXPLOSIVES

ATE Form 5400.14/5400.15 Part I
Revised October 2011

Federal Explosives License (FEL) Customer Service Information

Federal Explosives Licensing Center (FELC)
244 Needy Road
Martinsburg, WV 25405-9431

Toll-free Telephone Number: (877) 283-3352
Fax Number: (304) 616-4401
E-mail: FELC@atf.gov

ATF Homepage: www.atf.gov

Change of Address (27 CFR 555.54(a)(1)). Licensees or permittees may during the term of their current license or permit remove their business or operations to a new location at which they intend regularly to carry on such business or operations. The licensee or permittee is required to give notification of the new location of the business or operations not less than 10 days prior to such removal with the Chief, Federal Explosives Licensing Center. The license or permit will be valid for the remainder of the term of the original license or permit. **(The Chief, FELC, shall, if the licensee or permittee is not qualified, refer the request for amended license or permit to the Director of Industry Operations for denial in accordance with § 555.54.)**

Right of Succession (27 CFR 555.59). (a) Certain persons other than the licensee or permittee may secure the right to carry on the same explosive materials business or operations at the same address shown on, and for the remainder of the term of, a current license or permit. Such persons are: (1) The surviving spouse or child, or executor, administrator, or other legal representative of a deceased licensee or permittee; and (2) A receiver or trustee in bankruptcy, or an assignee for benefit of creditors. (b) In order to secure the right provided by this section, the person or persons continuing the business or operations shall furnish the license or permit for that business or operations for endorsement of such succession to the Chief, FELC, within 30 days from the date on which the successor begins to carry on the business or operations.

(Continued on reverse side)

Cut Here ✂

Federal Explosives License/Permit (FEL) Information Card	
License/Permit Name:	BIG ALS OUTLET INC
Business Name:	BIG ALS FIREWORKS OUTLET
License/Permit Number:	6-ME-015-53-1G-00165
License/Permit Type:	53-DEALER OF EXPLOSIVES
Expiration:	July 1, 2021
Please Note: Not Valid for the Sale or Other Disposition of Explosives.	



U.S. Department of Justice
 Bureau of Alcohol, Tobacco, Firearms and Explosives
 Federal Explosives Licensing Center
 244 Needy Road
 Martinsburg, West Virginia 25405

901090: CRR/FLS
 5400
 File Number: 6ME00165

06/25/2018

SUBJECT: RESPONSIBLE PERSON LETTER OF CLEARANCE for:

ALLEN STEVEN COHEN

OWNER
 (207)882-9900

141 CUSHMAN POINT ROAD
 WISCASSET, ME 04578

and is **ONLY** valid under the following Federal explosives license/permit:

6-ME-015-53-1G-00165

BIG ALS OUTLET INC
 BIG ALS FIREWORKS OUTLET
 298 BATH RD ROUTE 1
 WISCASSET, ME 04578

COPY

Dear ALLEN COHEN:

You have been approved as a responsible person under the above-listed Federal explosive license or permit. You may lawfully direct the management or policies of the business or operations as they pertain to explosives. You may also lawfully transport, ship, receive or possess explosive materials incident to your duties as a responsible person. **This clearance is only valid under the license or permit referenced above.**

Sincerely,

Christopher R. Reeves

Christopher R. Reeves
 Chief, Federal Explosives Licensing Center (FELC)

FELC Customer Service. If you believe that information on your "Letter of Clearance" is incorrect, please return a COPY of the letter to the Chief, Federal Explosives Licensing Center (FELC), with a statement showing the nature of the error. The Chief, FELC, shall correct the error, and return an amended letter to you.

Mail: ATF
 Chief, FELC
 Attn.: LOC Correction
 244 Needy Road
 Martinsburg, West Virginia 25405

Fax: 1-304-616-4401
 Chief, FELC
 Attn.: LOC Correction

Call toll-free: 1-877-283-3352

WWW.ATF.GOV

ALLEN STEVEN COHEN

Responsible Person Letter of Clearance for:



Town of Wiscasset
Sale of Consumer Fireworks
Annual License from the Board of Selectmen

Please Note: The Board of Selectmen shall issue a license if they find the applicant: has not been convicted of a Class A, B or C crime; has not through the use of fireworks, Consumer Fireworks or in any other way, created a danger to the general public; and has complied with all federal, state and local laws, ordinances, rules and regulations (12.3.2.3).

Date: 8/25/18 Map: U-11 Lot: 1D

Company Name: BIG AX Outlet Inc. DBA BIG AX Fireworks Outlet

Address: 300 Beth Rd.

Town/City, State & Zip Code: Wiscasset, ME 04578

Phone Number: 207-882-8422 Fax Number: 207-882-5225

Name of Insurer: Scottsdale Ins. Co. Policy #: CPS2885769

State License Number: CFS 14 (Please include a copy of State License)

Property Owner's Name: Allen + Melissa Cohen

Property Owner's Address: 141 Cephasen Pt. Road

Property Owner's Town/City, State & Zip Code: Wiscasset, ME 04578

Code Enforcement Officer: [Signature] Brian M. Munnich 8.27.18
Signature Printed Name Date

To the best of my knowledge and belief, all information on this application, and submitted in support of/with the application, is true and correct and all proposed consumer sales of fireworks activities will conform with this application and the Town of Wiscasset's Ordinance, as applicable.

Company Signature: [Signature] AL Cohen 8/25/18
Signature Printed Name Date

***The applicant shall be responsible for any costs associated with this application including any advertising requirements.**

Office Use Only

By vote of the Wiscasset Board of Selectmen: Date: _____

Chair Wiscasset Board of Selectmen: _____
Signature Printed Name Date

___ Approved ___ Not Approved ___ Needs additional information

COPY



STATE OF MAINE - DEPARTMENT OF PUBLIC SAFETY
OFFICE OF STATE FIRE MARSHAL
45 COMMERCE DR STE 1
AUGUSTA, ME 04333-0001

License for Consumer Fireworks Retail Store

License No. CFS14

In accordance with the provisions of M.R.S.A. Title 8, Chapter 223-A, permission is hereby granted to sell consumer fireworks as follows:

Expiration Date: 03/27/2019
Store: BIG AL'S FIREWORKS OUTLET
Location: 300 BATH RD, US ROUTE 1, WISCASSET, ME 04578
Owner: BIG AL'S OUTLET INC.
Owner Address: PO BOX 720, BOOTHBAY HARBOR, ME 04538-0720

A handwritten signature in black ink, appearing to be 'Al', written over a horizontal line.

SIGNATURE OF LICENSEE

A handwritten signature in black ink, appearing to be 'John E. Moynihan', written over a grid background.

COMMISSIONER OF PUBLIC SAFETY

COPY



NOTICE OF CLEARANCE

for individuals transporting, shipping, receiving, or possessing explosive materials.

ISSUED TO: BIG ALS OUTLET INC

Federal Explosives license/permit no.: 6-ME-015-53-1G-00165

NOTICE DATE: 06/25/2018

Expiration Date: **July 1, 2021**

EXPIRATION DATE: This Notice expires when superseded by a newer Notice which will list all current responsible persons and employee possessors, or when the license or permit expires - whichever comes first.

Explosives License/Permit Type: 53-DEALER OF EXPLOSIVES

- ① **WARNING.** Only those individuals listed below as **RESPONSIBLE PERSONS** and **EMPLOYEE POSSESSORS** with a background clearance status of "CLEARED" or "PENDING" are authorized to transport, ship, receive, or possess explosive materials in the course of employment with you.
- ② **"DENIED" STATUS.** If an employee possessor has a background clearance status of "DENIED", you **MUST** take immediate steps to remove the employee from a position requiring the transporting, shipping, receiving, or possessing of explosive materials. Also, if the employee has been listed as a person authorized to accept delivery of explosive materials, you **MUST** remove the employee from such list and immediately, and in no event later than the second business day after such change, notify distributors of such change, as stated in 27 CFR 555.33(a).
- ③ **CHANGE IN RESPONSIBLE PERSONS.** You **MUST** report any change in responsible persons to the Chief, Federal Explosives Licensing Center, within 30 days of the change and new responsible persons **MUST** include "appropriate identifying information" as defined in 27 CFR 555.11. Fingerprints and photos are **NOT** required, however they will be required upon renewal of the license or permit.
- ④ **CHANGE OF EMPLOYEES.** You **MUST** report any change of employee/possessors to the Chief, FELC, within 30 days. Reports relating to newly hired employees must be submitted on ATF Form 5400.28 for **EACH** employee.

Premises Address:	298 BATH RD ROUTE 1 WISCASSET, ME 04578
Mailing Address:	BIG ALS OUTLET INC BIG ALS FIREWORKS OUTLET PO BOX 720 BOOTHBAY HARBOR, ME 04538

This 'Notice of Clearance' is provided to you as required by 18 U.S.C. 843(h) and **MUST** be retained as part of your permanent records and be made available for examination or inspection by ATF officers as required by 27 CFR 555.121. If you receive a Notice subsequent to this Notice, this Notice will no longer be valid.

In accordance with 27 CFR 555.33, Background Checks and Clearances, and 27 CFR 555.57, Change of Control, Change in Responsible Persons, and Change of Employees, ATF's Federal Explosives Licensing Center (FELC) has conducted background checks on the individual(s) you identified as a responsible person(s) and an employee/possessor(s) on your application, or reported after the issuance of your license/permit.

The following is a SUMMARY of the results of the background checks conducted on the individuals you reported as responsible persons and employee/possessors. ATF will be notifying ALL individuals listed on this document of their respective status by separate letter mailed to their residence address.

PLEASE BE ADVISED THAT IT IS UNLAWFUL FOR ANY PERSON REFLECTING A STATUS OF "DENIED" TO TRANSPORT, SHIP, RECEIVE, OR POSSESS EXPLOSIVE MATERIALS.

Please carefully review this Notice to ensure that all the information is accurate. If this Notice is incorrect, please return the Notice to the Chief, FELC, with a statement showing the nature of the error(s). The Chief, FELC, shall correct the error, and return a corrected Notice.

Number of RESPONSIBLE PERSON(S) : 2	
Number of EMPLOYEE POSSESSOR(S): 0	
LAST NAME, First Name, Middle Name	Clearance Status
RESPONSIBLE PERSONS:	
0001 COHEN, ALLEN STEVEN	Cleared
0002 WALSH, RAYMOND LAWRENCE	Cleared
EMPLOYEE POSSESSORS:	
	0

continued

LAST NAME, First Name, Middle Name	Clearance Status
COPY	

6-2501015-53-1G-00165 - expiration date: July 1, 2021 (BIG ALS OUTLET INC OF BIG ALS FIREWORKS OUTLET, 298 BATH RD ROUTE 1, WISCASSET, ME 04578)

In accordance with the provisions of Title XI, Organized Crime Control Act of 1970, and the regulations issued thereunder (27 CFR Part 555), you may engage in the activity specified in this license or permit within the limitations of Chapter 40, Title 18, United States Code and the regulations issued thereunder, until the expiration date shown. **THIS LICENSE IS NOT TRANSFERABLE UNDER 27 CFR 555.53.** See "WARNINGS" and "NOTICES" on reverse.

Direct ATF ATF - Chief, FELC
Correspondence To 244 Needy Road
 Martinsburg, WV 25405-9431

License/Permit
Number **6-ME-015-53-1G-00165**

Chief, Federal Explosives Licensing Center (FELC)
Christopher R. Reers

Expiration
Date **July 1, 2021**

Name
BIG ALS FIREWORKS OUTLET

Premises Address (Changes? Notify the FELC at least 10 days before the move.)
**298 BATH RD ROUTE 1
WISCASSET, ME 04578-**

Type of License or Permit
53-DEALER OF EXPLOSIVES

Purchasing Certification Statement
The licensee or permittee named above shall use a copy of this license or permit to assist a transferor of explosives to verify the identity and the licensed status of the licensee or permittee as provided by 27 CFR Part 555. The signature on each copy must be an original signature. A faxed, scanned or e-mailed copy of the license or permit with a signature intended to be an original signature is acceptable. The signature must be that of the Federal Explosives Licensee (FEL) or a responsible person of the FEL. I certify that this is a true copy of a license or permit issued to the licensee or permittee named above to engage in the business or operations specified above under "Type of License or Permit."

Mailing Address (Changes? Notify the FELC of any changes.)
**BIG ALS OUTLET INC
BIG ALS FIREWORKS OUTLET
PO BOX 720
BOOTHBAY HARBOR, ME 04538-**

Licensee/Permittee Responsible Person Signature Position/Title

Printed Name Date

Previous Edition is Obsolete BIG ALS OUTLET INC:298 BATH RD ROUTE 1:04578:6-ME-015-53-1G-00165:July 1, 2021:53-DEALER OF EXPLOSIVES ATF Form 5400.14/5400.15-Part I
Revised October 2011

Federal Explosives License (FEL) Customer Service Information

Federal Explosives Licensing Center (FELC)
244 Needy Road
Martinsburg, WV 25405-9431

Toll-free Telephone Number: (877) 283-3352
Fax Number: (304) 616-4401
E-mail: FELC@atf.gov

ATF Homepage: www.atf.gov

Change of Address (27 CFR 555.54(a)(1)). Licensees or permittees may during the term of their current license or permit remove their business or operations to a new location at which they intend regularly to carry on such business or operations. The licensee or permittee is required to give notification of the new location of the business or operations not less than 10 days prior to such removal with the Chief, Federal Explosives Licensing Center. The license or permit will be valid for the remainder of the term of the original license or permit. **(The Chief, FELC, shall, if the licensee or permittee is not qualified, refer the request for amended license or permit to the Director of Industry Operations for denial in accordance with § 555.54.)**

Right of Succession (27 CFR 555.59). (a) Certain persons other than the licensee or permittee may secure the right to carry on the same explosive materials business or operations at the same address shown on, and for the remainder of the term of, a current license or permit. Such persons are: (1) The surviving spouse or child, or executor, administrator, or other legal representative of a deceased licensee or permittee; and (2) A receiver or trustee in bankruptcy, or an assignee for benefit of creditors. (b) In order to secure the right provided by this section, the person or persons continuing the business or operations shall furnish the license or permit for for that business or operations for endorsement of such succession to the Chief, FELC, within 30 days from the date on which the successor begins to carry on the business or operations.

(Continued on reverse side)

Cut Here ✂

Federal Explosives License/Permit (FEL) Information Card
License/Permit Name: **BIG ALS OUTLET INC**
Business Name: **BIG ALS FIREWORKS OUTLET**
License/Permit Number: **6-ME-015-53-1G-00165**
License/Permit Type: **53-DEALER OF EXPLOSIVES**
Expiration: **July 1, 2021**
Please Note: Not Valid for the Sale or Other Disposition of Explosives.

COPY



U.S. Department of Justice
Bureau of Alcohol, Tobacco, Firearms and Explosives
Federal Explosives Licensing Center
244 Needy Road
Martinsburg, West Virginia 25405

901090: CRR/FLS
5400
File Number: 6ME00165

06/25/2018

SUBJECT: RESPONSIBLE PERSON LETTER OF CLEARANCE for:

ALLEN STEVEN COHEN

OWNER
(207)882-9900

141 CUSHMAN POINT ROAD
WISCASSET, ME 04578

and is ONLY valid under the following Federal explosives license/permit:

6-ME-015-53-1G-00165

BIG ALS OUTLET INC
BIG ALS FIREWORKS OUTLET
298 BATH RD ROUTE 1
WISCASSET, ME 04578

Dear ALLEN COHEN:

You have been approved as a responsible person under the above-listed Federal explosive license or permit. You may lawfully direct the management or policies of the business or operations as they pertain to explosives. You may also lawfully transport, ship, receive or possess explosive materials incident to your duties as a responsible person. **This clearance is only valid under the license or permit referenced above.**

Sincerely,

Christopher R. Reeves
Chief, Federal Explosives Licensing Center (FELC)

COPY

FELC Customer Service. If you believe that information on your "Letter of Clearance" is incorrect, please return a COPY of the letter to the Chief, Federal Explosives Licensing Center (FELC), with a statement showing the nature of the error. The Chief, FELC, shall correct the error, and return an amended letter to you.

Mail: ATF
Chief, FELC
Attn.: LOC Correction
244 Needy Road
Martinsburg, West Virginia 25405

Fax: 1-304-616-4401
Chief, FELC
Attn.: LOC Correction

Call toll-free: 1-877-283-3352

WWW.ATF.GOV

ALLEN STEVEN COHEN

Responsible Person Letter of Clearance for:

To: Wiscasset Board of Selectmen

From: Wiscasset Public Advisory Committee

Subject: Report on activities and accomplishments of PAC and MDOT concerning Option #2

This report is in several sections:

1. Activities
2. Final recommendations for parking and amenities
3. Dissenting opinion concerning trees on Main Street

Activities

The PAC has worked for one year and nine months with the Town of Wiscasset, the Maine Department of Transportation, "Experts", and the public to accomplish the goals as set out in our vision statement.

"Improve through traffic flow, increasing safety for pedestrian and vehicles, while maintaining and enhancing the beauty and historical aspects and aesthetics of the community."

The task was not easy as there was resistance and controversy at almost every turn. The PAC and MDOT held many public meetings with townspeople and other interested parties. We used their input to change, tweak, and modify the original concept proposal. In the end we believe that the final plan will satisfy a majority of those concerned.

The Wiscasset Public Advisory Committee first met on 12/19/16. Appointed members were: Seaver Leslie, Susan Robson, Jamie Sonia, Steve Christiansen, Lonnie Kennedy-Patterson, Cynthia Davis, William Maloney, Jeff Slack, and David Cherry. It was decided that Town Manager, Marian Anderson, would facilitate the meetings and disseminate all information to the PAC.

After introductions, the first order of business was to create a vision statement to guide the process. The agreed upon statement was: "Improve through traffic flow, increasing safety for pedestrians and vehicles, while maintaining and enhancing the beauty and historical aspects and aesthetics of the community."

During the January 23, 2017 meeting MDOT showed a presentation of horizontal/vertical alignment, signal model and parking lot designs. At the following meeting the pros and cons of the above were discussed and changes suggested.

The February 27, 2017 meeting discussion centered on final parking layout. The group reviewed town parking ordinances with the Chief of Police, and at his request, two members were recruited, Susan Robson and Steve Christiansen, to be part of a sub-committee to review the ordinances in conjunction with the changes proposed by MDOT. Those proposed changes were presented at the June 5, 2018 meeting. After PAC and public discussion, the report was forwarded to the Selectboard. This was done as they are the only ones who can change the ordinances.

In March the Historical Preservation Commission joined the PAC in discussion and Kent Cooper, MDOT, presented amenity choices.

April 10, 2017 meeting consisted of another discussion of parking. This subject would come up at most meetings. May 8 was set for a public meeting to be held at the elementary school.

On May 30 the PAC reviewed the public meeting and then discussed sidewalk lighting and "Dark Sky" requirements.

In June of 2017 the PAC reviewed a draft of highway signage and discussed landscape amenities with Kent Cooper. On the 23rd of June, the PAC, MDOT, and the public conducted a site-walk of the project starting on Railroad Avenue. A later meeting in June concerned lights and the possibility of restrooms at the Haggett parking lot. MDOT representative told the PAC that MDOT would pay for most amenities, however, not restrooms. Provisions could be made for restrooms; however, the expense would be on the town. Jamie read a note from Belinda Haggett, asking that the Haggett garage stone be incorporated into the new parking lot.

In July of 2017, the PAC met with the Historical Preservation Commission to discuss landscape amenities, and reviewed parking for Water Street and Railroad Avenue.

In August the PAC met with Kent Cooper again and decided to conduct an online Survey Monkey to get public feedback on amenities with a deadline of August 25. For those without internet service, a kiosk was available at the town hall. Construction work times were included in the survey. A complete copy of the survey and results are attached to this report.

In September of 2017 the PAC decided to schedule another public meeting, this one concerning the results of the Survey Monkey regarding the amenities. Lonnie and Jeff Slack would be the PAC spokesmen for the event.

On October 5, the public meeting took place at the elementary school. The recommendations for the project were presented: Boston Pavers for the sidewalks, Pear or Japanese Lilac trees for the sidewalks, railings for the steps on the sidewalks #7 or #9. Bollards for Main Street either black with black chains or granite with double chains. Black bollards for railroad Avenue with light shields so that light would not shine towards the river and highway. Lamp posts for Main Street similar to Bath, Hallowell, and Kennebunk.

On October 16 the PAC reviewed the results of the meeting. A discussion about signage and kiosk took place. It was suggested that the parking lots on Railroad Ave and Haggett Garage have a kiosk with a street map and directory for businesses and points of interest be erected.

November brought more discussion of amenities.

At the December 4, 2017 meeting the amenities were finalized.

- Boston Brick for the sidewalks.
- Railing #1 with a simpler design.
- Railroad Ave light #1 from survey
- Bollards for Main Street, granite with 2 chains

On a vote of 6-2 the PAC voted not to have trees (4 on each side of Main Street) due to maintenance problems. However, the PAC would make it clear to the Selectboard that this was contrary to the vote of residents who took part in the Survey Monkey and that the final decision would be theirs. Should the Selectboard decide to go with the trees, the PAC would suggest using the square tree grates as proposed in the monkey survey. The public, in the survey, chose the Japanese Lilac trees.

The above recommendations were presented to the Selectboard at the January 19 meeting by Lonnie Kennedy-Patterson.

On January 21 Meg Lane, public relations, MDOT, presented a video and handouts for communications during the construction period of the project.

Robert Blagden and Katharine Martin-Savage joined the PAC, replacing Slack and Cherry.

During the May 7, 2018 meeting, the PAC reviewed highway signage and amenities. They also discussed possible timeline for construction; night work 8pm-6am Sunday-Thursday starting June 23. Project to be finished by October 2019.

On June 5 MDOT advised that the lights that we chose for Main Street were non-compliant with Dark Sky regulations. MDOT offered alternatives. The PAC chose Washington with a ball on the top. Ernie was asked to look for an alternative and Seaver Leslie offered to do the same as the

appearance of the Washington light was not close enough to what the PAC and the Survey Monkey selected. MDOT advised the PAC that construction would start on June 17. At this meeting the Parking sub-committee presented final recommendations.

June 18 meeting resolved the street light issue as MDOT had found a more similar light fixture that met the Dark Sky requirement. The PAC adopted the Spring City light. The light will be on 9'4" poles. This brings the lights a little lower than the original and this will eliminate cross bars with hanging banners. However, the end result can be accomplished with flag pole attachments that will allow a banner to be hung in flag style. Lights will be added to the signal poles to illuminate the intersections and eliminating the CMP cobras.

In July, Jamie and Susan worked on an outline for this report and presented it to the PAC. The PAC will use this as a base for this report. Discussions continued regarding parking on side streets and the lack of trees on Main Street. Seaver Leslie was appointed to write a dissenting position on the need for trees and will get assistance from Mr. Wells, who has such experience from working with MDOT in Massachusetts.

Recommendations

Many of the recommendations are difficult to put into a paragraph as a result we have included diagrams of the final street and parking layout adopted along with the results of the Survey Monkey and the photos of the final choices for amenities. You have already received some of this information from the PAC at your regular meetings and the Chief of Police parking committee report has also been turned over to you.

Also attached to this report is a dissenting report concerning trees on lower Main Street.

During the period of the last several meetings, members of the PAC and the public objected to the recommendation of not having trees on Main Street. The recommendation not to have trees in this area was given to your board on January 9, 2018. At the time it was noted that in the Survey Monkey that a majority of respondents wanted trees. The PAC was concerned about maintenance and future tree replacement. We leave the final decision to your board.

Attached please find the attachments for your review.

Final Recommendation:

- A. Drawing of final Main Street concept
- B. Diagram of final layout
- C. Survey Monkey

Dissenting report on trees

Thought: We are responsible for maintaining the historical significance of our village while adapting it for today's life and preparing it for the future.

Parking Recommendations

Attached is a drawing from MDOT dated 6/12/17 of the then current parking proposals. Since the original MDOT Option #2 was approved, the concept plan changed many times as a result of meetings with the PAC and the public. After each meeting changes were made to accommodate concerns and issues of conflict with the plan. Parts of this plan are in limbo since the lawsuits have come and gone. The drop-off area on Main Street is gone along with the Haggett Garage parking area. These are in negotiation currently.

Below are the main changes as of the 6/12/17 date.

1. Removal of 26 spaces on Main Street between Water and Middle Street.
2. Removal of three spaces in front of former Chinese Restaurant.
3. Above three parking spaces replaced with two drop off spaces.
4. Addition of 23 spaces at former Haggett's Garage.
5. Addition of 60 spaces at new parking lot and parallel parking on RR Ave. including two bus stalls.
6. A drop-off area on the East side of Main Street for deliveries, pick-ups, and handicapped drop-off and pick-up.

This equals 83 new parking spaces within walking distance of Main Street.

Existing parking spaces to be removed;

1. Water Street North 7 spaces.
2. Water Street South 3 spaces
3. Middle Street South 3 spaces
4. Middle Street North 5 spaces
5. In front of Chinese restaurant 5 spaces
6. MainStreet between Middle and Water Streets 24

Total removed 47 Spaces.

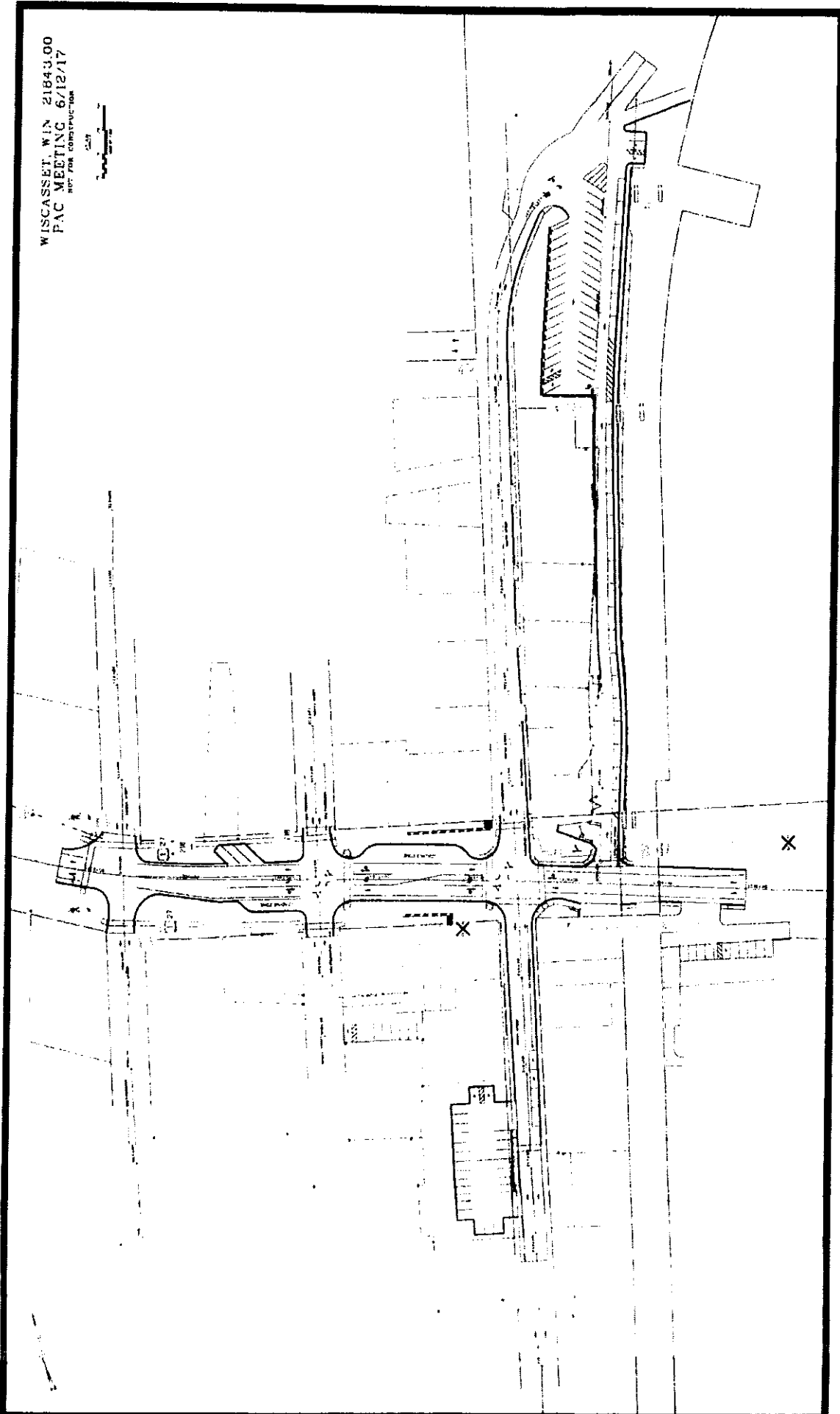
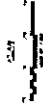
Net gain of 36 parking spaces.

Existing parking spaces to be repaved

1. Angle parking across from Chinese restaurant, 3 spaces.
2. Creamery Wharf, 12 spaces.

This does not consider changes suggested by the Chief of Police in his report, attached.

WISCASSET, WIN 2184300
PAC MEETING 6/12/17
NOT FOR CONSTRUCTION



WISCASSET DOWNTOWN IMPROVEMENTS: LANDSCAPE AMENITIES SEPTEMBER 2017 SURVEY RESULTS SUMMARY

July 27, 2018

The following summarizes the Town of Wiscasset's September 2017 voting results for the available landscape amenity choices. The top 2-3 votes in each category are reported unless the winner was at least 20 votes higher than any other choice, with the PAC's recommended choice based on those results and material availability. There were a total of 291 respondents, including Wiscasset residents, Wiscasset business owners and their employees, and frequent business patrons. Twelve respondents skipped identifying themselves within these categories.

Q 2 The Preferred brick style from the four currently in use in Wiscasset with 119/298 votes was the Morin Water Struck Courthouse brick, winning out over the Morin Pine Hall Pathway brick (66/298 votes). The PAC recommended the Water Struck Courthouse brick, but as it is no longer available, the Boston Artisan Paver was chosen by the PAC. It is the oldest looking and matches the current bricks very well.

Q 3 The Preferred Bollard and Chain style was a virtual tie with 72 voting for the solid black fluted bollards with a single chain and 72 voting for the currently used Wiscasset Courthouse granite bollard with a double chain. The PAC recommends the latter.

Q 4 The Preferred Bollard Light Style for Railroad Ave was the Columbial design with 91 votes. However, the PAC is recommending the Wadsworth Design as more dark sky compliant, and less modern appearing.

Q 5 The Preferred Tree Replacements for the current trees that will be impacted by construction were the Japanese Lilac which is a "clean" tree (reduced dropping of leaves and flowers) with 66 votes, the Flowering Pear with 54 votes and the Red Maple with 52 votes. The Japanese Lilac Tree was recommended by the PAC, as it will not grow as large as the other choices and has downward (rather than lateral) root growth. The Pear Tree flower droppings have an unpleasant odor and do not do well in ice. The Red Maple is a fast grower, requiring more frequent pruning. Given these findings, the PAC recommended the Japanese Lilac Tree. However, a December 4 vote at which all members were unable to be present opted to have no trees (6-2) or the Japanese Lilac.

Q 6 The Preferred Tree Grate was overwhelmingly the "Tree Grate 2", a square grate with a pattern of circles and simple 2- limbed trees within. The PAC recommends this one. Please see the attached picture in appendix section.

Q 7 The Preferred Sidewalk Lamp Pole Lighting Style was the one seen on Bath's Front Street with 63 votes with the style seen in Hallowell second with 44 votes. The Bath style is not available at this time, but a very similar style —The Spring City Electric fixture which has a ball on top and a height of 9' 4" and a dark sky compliant light fixture of 3'9" is available. This keeps it in the lower height range and allows for separate attachment of flower baskets and flags, though not vertical banners which would be at pedestrian head height. These lights will also eliminate the unsightly CMP "cobra" overhead lights. PAC recommended.

Q 8 The Preferred Bicycle Rack was the "Wave" formation one by 134 votes; however, the PAC recommend the first design—a black post with 2 half circles on 2 sides. This allows 2 bikes to be parked at each and takes up much less space.

Q 9 The Preferred ADA Compliant Railing choice (105 votes) was taken from all the existing ones in Wiscasset. However, the PAC felt it was too ornate and opted for Railing #1 which is a simpler design. Please see attached picture.

Q 10, 11 The Preferred MDOT Work Hours Schedule (174 votes) was from 9:00 pm-6:00 am Sunday-Thursdays. MDOT has changed this to 8:00 pm-6:00 am. An alternative of 6:00 am - 4: 00 pm Mon-Sat was strongly opposed with 136 votes.

Q 12 268 /298 voters did not want Construction During the Months of July and August. The PAC recommended this, but MDOT has gone ahead and started construction.

Work has begun. We hope the select board will vote with these PAC recommendations in mind.

Cynthia Davis, PAC Member

To the Wiscasset Selectboard:

I am writing to urge you to make sure that MDOT plants street trees on both sides of Route 1 as part of its Option 2 project. MDOT indicated from the start of its discussions with Wiscasset that street trees would be part of the redevelopment plan; please insist that they carry through.

MDOT officials repeatedly invited townspeople to express their opinion about the kind of trees they want along Main Street and led us to believe that trees were an intrinsic part of Option 2. The visualizations MDOT displayed at town gatherings, beginning with the first in April 2016, and on its website, showed nine trees along Main Street's new brick esplanades. At the large public meeting on October 5 at the Wiscasset Elementary School, type of tree and type of tree grate were two of the 12 questions MDOT asked townspeople to vote on by way of a Survey Monkey poll to which 300 people responded. Only 29 (less than 10 percent) were opposed to street trees. MDOT also asked townspeople to express their opinions in an online poll.

At other times, MDOT provided handouts about street trees. MDOT transportation landscape architect Kent Cooper described various tree options more than once to the PAC.

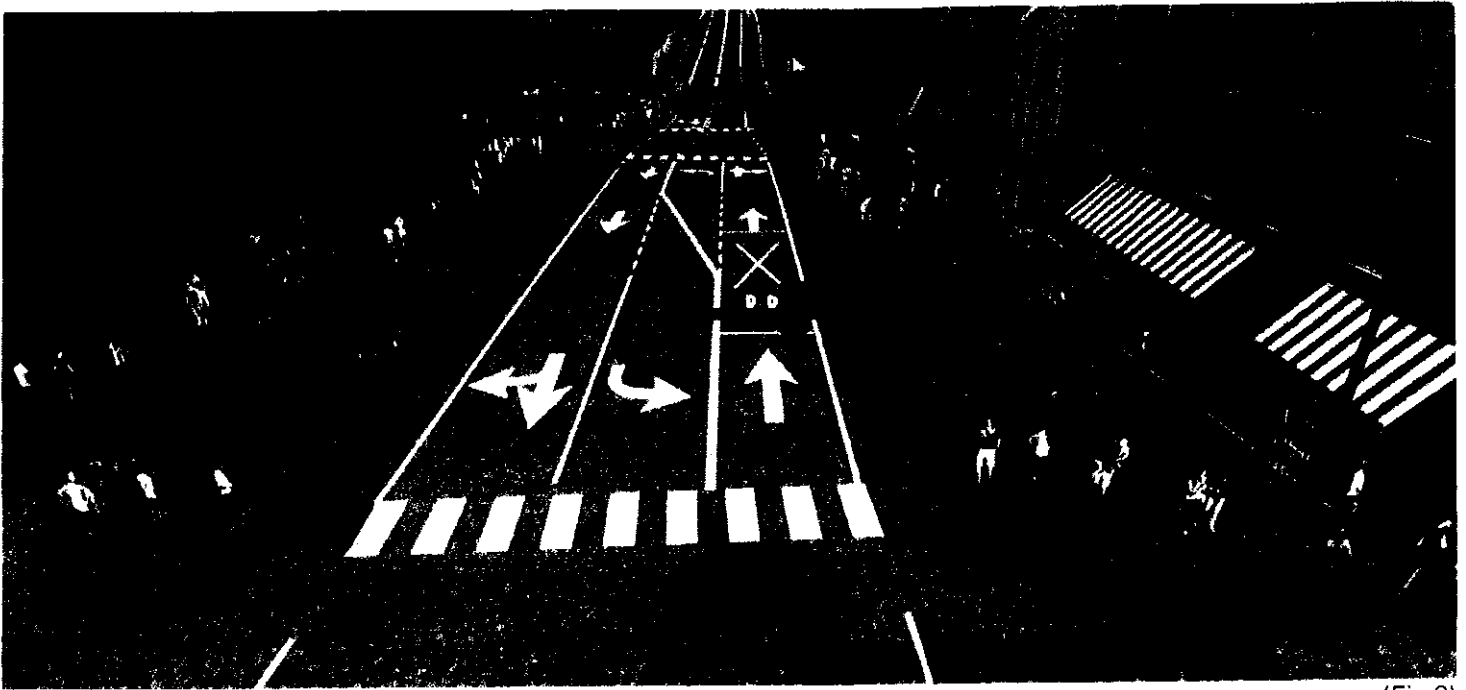
Make sure that Wiscasset village does not lose this asset. Years ago, the town went to great lengths to have trees planted on Main Street to make it more attractive and welcoming. The presence of these trees has surely helped in the downtown's revitalization.

Street trees provide aesthetic benefits, creating a sense of place--a place where people want to spend time. They lower air temperature in the summer; reduce the health impacts of vehicle emissions; lower people's blood pressure (maybe a few more drivers will stop in Wiscasset if their blood pressure drops!); help buffer traffic noise; lengthen the life of paved surfaces; and increase automobile and pedestrian safety (note that worldwide terrorist attacks by vehicle have taken place on open pedestrian areas).

MDOT knows how to plant street trees. They planted at least 18 along Route 1 in the project they recently completed in Thomaston. Longtime Wiscasset citizen David Fischer, who lives on Summer Street, is extremely knowledgeable about trees and would be happy to advise. And Federal Street resident Peter Wells is a landscape designer with good information about planting and maintaining trees along streets.

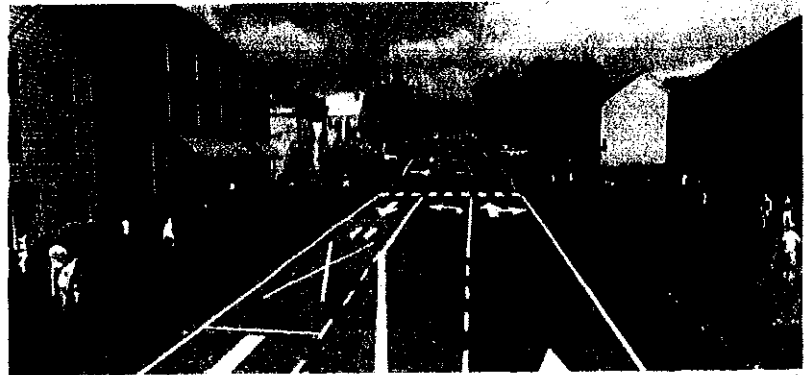
Great towns and cities have street trees, so hold MDOT's feet to the fire. Trees are crucial to MDOT's claims that Option 2 will create an appealing outdoor space where local citizens and visitors alike will want to wander, linger, and shop. See to it that Wiscasset gets the trees it deserves--and was led to believe it would have.

Best
Seaver Leslie



(Fig. 9)

As shown in Fig. 9, the design Option 2 maintains most of the same features as Option 1. However, it goes one step further by removing on-street parking from Main Street. Removing on-street parking from Main Street, between Middle and Water Streets, will eliminate the stop-and-go delays caused by motorists turning into and backing out of the parking spaces (Fig. 9). It also eliminates the offset intersection at Water Street and the need for centerline barriers. Instead, attractive bollards will line Main Street to prevent mid-block jaywalking (Fig. 10). It also provides a more pleasant downtown experience for shoppers.



(Fig. 10)

To replace the existing parking spaces removed in Option 2,



(Fig. 11)

MaineDOT will purchase one of the Coastal Enterprise buildings on Water St and convert that space to a 29-space parking lot with attractive landscaping, benches and an informational kiosk. The walking distance from this lot to local shops and restaurants is comparable to walking from a parking lot to any shopping center or mall (Fig. 11).

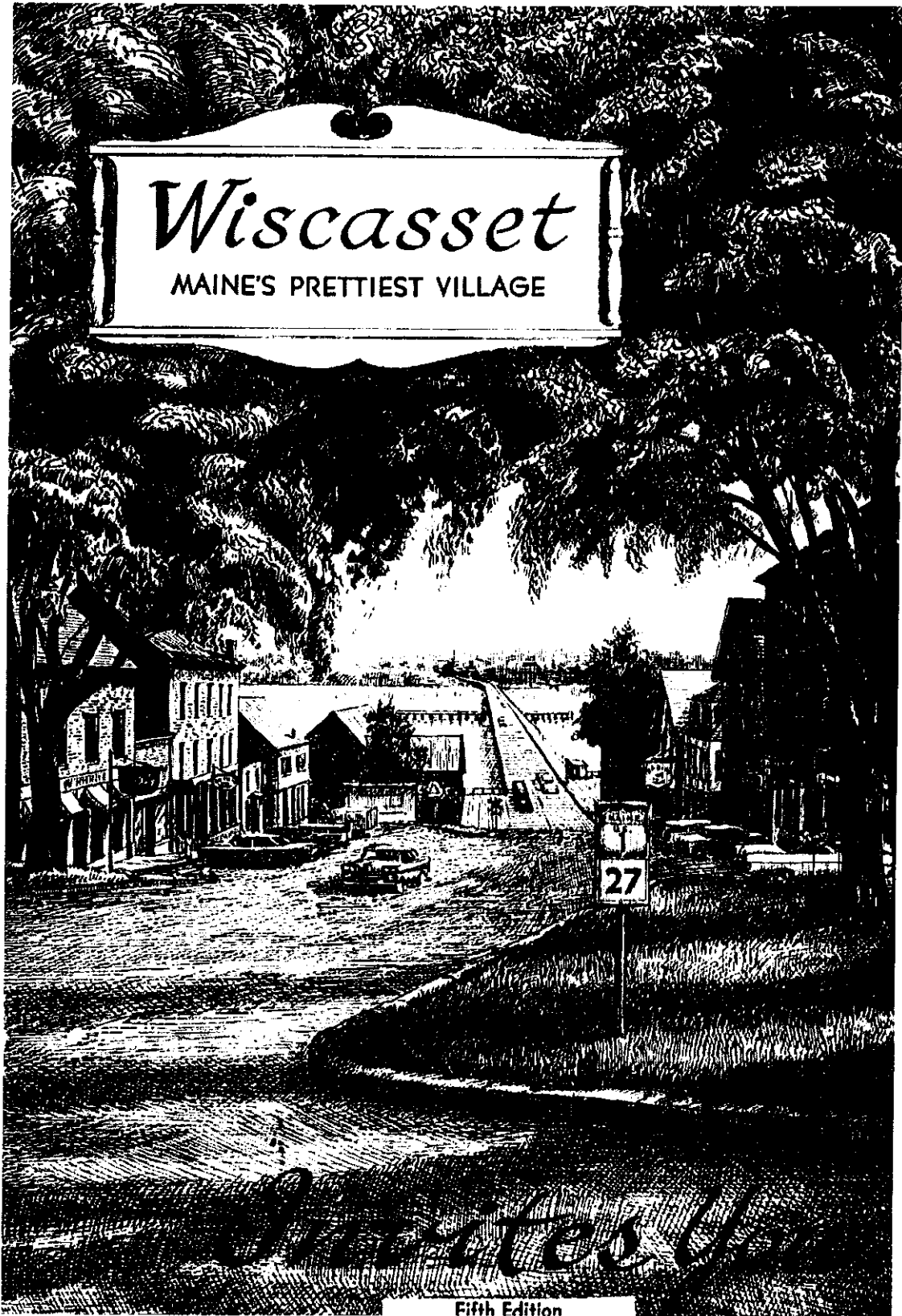
In addition, the much wider sidewalks will accommodate café tables and chairs, as well as benches, bicycle racks, trash receptacles, and other charming enhancements (Fig. 12).



(Fig. 12)

Wiscasset

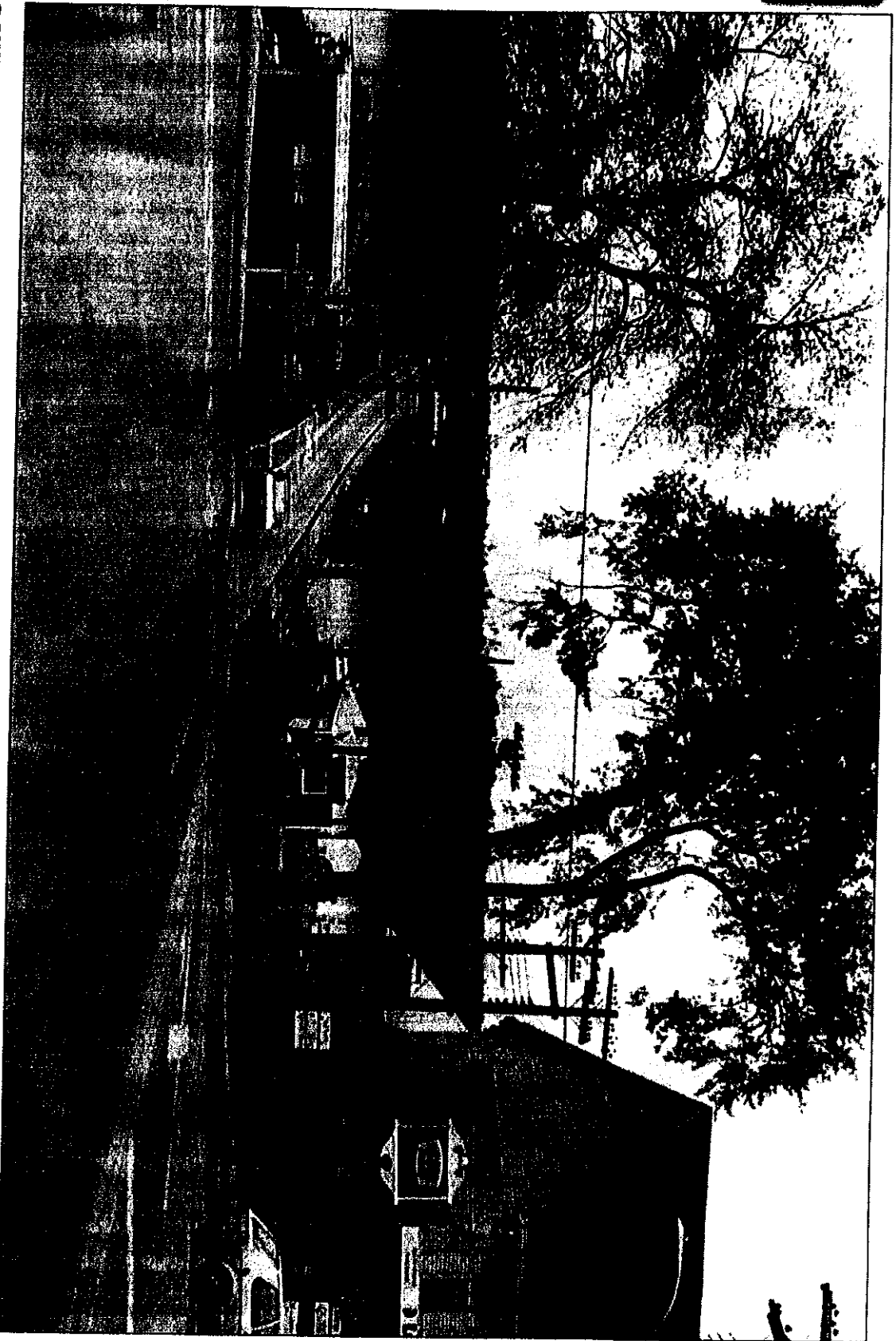
MAINE'S PRETTIEST VILLAGE



Fifth Edition

EDITORIAL

BOOTHBAY REGISTER/WISCASSET NEWSPAPER



DOWNTOWN WISCASSET as it looked in spring 1980 before removal of the former timber pile bridge linking Wiscasset and Edgcomb and the construction of the Donald E. Davey Bridge. Alongside the bridge is the former Flood's Marine Repair which moved to Flood Avenue due to the new bridge. The former bridge tender's office is shown and draw span in the distance. At left is the Louis Doe Hardware Store, formerly Flood's Hardware and today home to Sarah's Café. Alongside the building is one of the last towering elm trees that once lined Main Street, and lost to Dutch elm disease.

Courtesy of Phil Di Veca

Wiscasset Pac

Report to Selectmen

Appendix

1. Chief of Police Parking study
2. Wiscasset Downton Proposals, Major design Elements, Benefits, & Shortcomings
3. Memo from The Berkshire Group, Inc, Peter Wells. Recommendations for planting trees on Main Street.
4. Pictures of amenities for Main street.



Wiscasset Police Department

51 Bath Road, Wiscasset ME 04578 -Office 207.882-8202 Fax 207.882-8203



Jeffrey E. Lange
Chief of Police

Craig Worster
Sergeant

The following are recommendations from the Wiscasset Parking Sub-Committee to the Wiscasset Public Downtown Committee.

Steve Christianson- Citizen and Board Member of Wiscasset Public Downtown Committee
Susan Robson- Citizen and Board Member of Wiscasset Public Downtown Committee
Jeffrey Lange- Citizen and Chief of Police

Main St-

- Front of Chinese Restaurant (100 Main St) - Loading / unloading zone only- (drop off and pick up also)
- Angled parking only in front of Marston House (101 Main St). of the 3 parking spots one will be a handicap spot.

South Side of Main St

Fort Hill St- (not part of the MDOT project)

- Remove closest parking spot to the crosswalk. One parking spot after that for 15 min parking only. After first driveway parking is authorized.
- Remove 1st parking spot that is adjacent to Post Office Building, as this is too close to the crosswalk. 2 spots remain. 1st spot is handicap. Both spots should be 10 min parking.
- Re-Angle parking spots on Federal St just past Post Office. 10 Min parking only.

Middle St-

- No parking on Westerly side of Middle (remains)
- East side of the street.- Remove closest parking spot to the crosswalk. The remaining 2 spots will remain as "No Parking from 10AM to 6PM. (this will allow patrons to get coffee from Treats before 10AM.
- Parking lot behind Treats-
 - 1st spot in parking lot designated to be handicap (not part of the MDOT project)

Water St-

- Remove 2 spots on Easterly side of the street from Main to 37 Water St- 3 spots remain for restricted parking (no parking between 10Am to 6PM) after that 2 spots are designated for 10 min parking only. If lot does not get built at old garage, make the first spot after the 10 min parking a handicap spot.
- No parking on Westerly side of the street from Main to after Big Foot Alley.
- Parking lot if built- 3 handicap spots in lot with 2 of the corners being MC parking.

North Side of Main St

R.R Alley

- Loading / unloading zone from street to first parking spot along water side.
- After loading zone the first 2 spots on Westerly side of street designated for handicap
- 3 handicap spots large proposed lot
- Add MC parking to angled area next to handicap parking in large lot.



Wiscasset Police Department

51 Bath Road, Wiscasset ME 04578 -Office 207.882-8202 Fax 207.882-8203



Jeffrey E. Lange
Chief of Police

Craig Worster
Sergeant

Water St.-

- No Parking on the Easterly side of street (entire street)
- Front of Reds is a loading zone.
- Restricted parking after loading zone between 10AM and 6PM on the easterly side of street
- No parking on Westerly side of street from Main to first alley. (3 parking spots removed)
- Add parking on Westerly side of street after first alley to Lincoln St.

Middle St-

- East side of the street- Remove first spot closest to Main St. One spots remains as limited parking before 10AM (no parking from 10A to 6P) – Parking authorized after driveway to Lincoln.
- No Parking on Westerly side from Main to Lincoln
- Middle St Lot- Restricted to permit parking only (see below)

Lincoln St-

- No parking on both sides of street

Metered Parking Spots-

Install 3 kiosks (2 on RR Ave and 1 on new lot on Water St. (Old CEI building- if it gets built). The revenue from the parking meters should go towards any maintenance costs for the upkeep for Main St. area. The parking fees should be on line with surrounding town's fee schedule.

The Parking lot located on Middle St would be by permit parking only and for just cause. Just cause is defined as for those that don't have driveways that live in the downtown area, employee parking for businesses, etc. This will be a case by case basis. The fee structure if any will be decided by the Select board. Lastly possibly sell season parking permits for dirt lot on Water St to those that request it. Fee schedule should be determined by Board of Selectman.

**PD Recommends that an area should be looked for electric car charging stations- Recommendation is at the Waterfront. This could be a source of revenue to charge vehicles and a way to invite people to stop here in town and shop while their vehicle is charging.

Jeffrey E. Lange

CHIEF OF POLICE

Wiscasset Police Department

51 Bath Road

Wiscasset, Maine 04578

Wiscasset Downtown Proposals
Major Design Elements, Benefits & Shortcomings

1. Widen the Street Level “Bumper Overhang” Sidewalks by 3 feet to provide 5-foot minimum sidewalks
 - A. Benefits
 - 1) Meets ADA requirements
 - 2) Provides better/safer pedestrian access
 - B. Shortcomings
 - 1) Reduces the width of Main Street by at least 6 feet
 - 2) Parked vehicles will have to back directly into traffic, increasing delays
2. Extend Sidewalks at Intersections (aka, “Bumpouts”)
 - A. Benefits
 - 1) Reduce pedestrian crossing distances and times, lowering traffic delays and safety concerns
 - 2) Provide a safe pedestrian refuge & room for pedestrians to gather
 - 3) Provides more pleasing views of the intersections
 - 4) Improves visibility of pedestrians to vehicles and vehicles to pedestrians
 - B. Shortcomings
 - 1) Results in the loss of one or more parking spaces at each bumpout
 - 2) Makes snow plowing and removal more difficult
3. Provide Traffic Signals with Integrated Pedestrian Signals
 - A. Benefits
 - 1) Reduces the number and frequency of pedestrian crossings
 - 2) Pedestrians no longer have the right of way over vehicles – they must wait their turn to cross
 - 3) Improves pedestrian safety by regulating when they can cross
 - 4) Creates gaps in traffic flow to allow for traffic entering from connecting streets
 - 5) Reduced overall delay due to fewer traffic interruptions and more uniform traffic flows
 - B. Shortcomings
 - 1) Potential visual impacts in a historic village setting
 - 2) Summertime loss of side street parking to allow for increased length of traffic lines
4. Provide Pedestrian Barriers
 - A. Benefits
 - 1) Eliminates or greatly reduces illegal pedestrian crossings
 - 2) Fewer disruptions and delays to vehicular traffic
 - 3) Safely guides pedestrians to designated crosswalks
 - 4) Improves pedestrian safety
 - B. Shortcomings
 - 1) Potential visual impacts
 - 2) Potential maintenance issues
 - 3) Potential safety issues if improperly secured or not crashworthy
 - 4) Potential impacts to snow plowing and removal
5. Disallow Rte. 1 SB Left Turns at Water Street
 - A. Benefits
 - 1) Reduces SB traffic delays
 - 2) Access can be gained by turning onto Railroad Ave to Water Street, or from Middle Street
 - 3) Wayfinding Signs to be Provided

- B. Shortcomings
 - 1) Requires indirect route for Rte. 1 SB traffic to Water Street businesses south of Main Street
 - 2) Requires additional legal, guidance and wayfinding signs for Rte. 1 SB traffic
6. Develop Railroad Avenue
- A. Benefits
 - 1) Addition of 18 on-street parking spaces
 - 2) Addition of a new parking lot with 28 spaces (26 vehicles plus 2 buses)
 - 3) One-way outbound from Route 1 minimizes traffic impacts to Route 1
 - 4) Provides a right-turn entry from Route 1 SB for parking, thereby minimizing left turns
 - 5) New continuous sidewalk connects Main Street to Water Street
 - B. Shortcomings
 - 1) Requires traffic exiting Railroad Avenue to proceed to Water Street (signalized)
 - 2) Somewhat removed from the Main Street downtown area
 - 3) Potential impacts to Railroad Avenue residences and businesses
7. Redevelop the Town Wharf
- A. Benefits
 - 1) Allows addition of 20 new parking spaces (27 total)
 - 2) Provides right-in parking access for Route 1 NB traffic
 - 3) Allows for improved space utilization of the Town Wharf
 - B. Shortcomings
 - 1) Reduces the size of the Town Wharf
 - 2) Potential visual impacts
8. Replace Main Street On-Street Parking with a New Parking Lot on Water Street
- A. Benefits
 - 1) Improves road geometrics to provide smoother traffic flow, particularly at Water Street
 - 2) Reduces mainline traffic delays caused by parked vehicles backing out into traffic
 - 3) Provides a net increase of 12 parking spots in the downtown area over Option 1
 - 4) Provides the greatest safety benefits to vehicles and pedestrians alike
 - 5) Allows for improved signage that would otherwise be blocked from view by parked vehicles
 - 6) Eliminates the need for centerline bollards and seasonal installation/removal
 - 7) Allows for wider sidewalks
 - 8) Provides opportunities to provide sidewalk amenities, such as benches, bike racks, kiosks, etc.
 - 9) Provides a better view of the downtown to attract passing traffic to stop and visit
 - 10) Increases the potential to become a destination rather than a pass-through
 - B. Shortcomings
 - 1) Loss of “front door” parking for Main Street businesses
 - 2) Potential negative impacts to businesses catering to quick stops
 - 3) Increases walking distances (though no greater than at major shopping malls)
 - 4) Results in the loss of a downtown building, but provides an enhanced historic potential for Main Street
9. Comparison of Option #1 to Option #2
- A. Both options reduce peak summer traffic delays by 50% or more
 - 1) Option #1 provides a 51% reduction in delays
 - 2) Option #2 provides a 55% reduction in delays by eliminating parked vehicles disrupting traffic
 - B. Both options minimize vehicle-pedestrian conflicts & improve safety

- C. Both options provide an overall increase in downtown parking availability
 - 1) Option 1 Parking Impacts:
 - a) Loss of 1 parking slot on Main Street south of Middle Street
 - b) Loss of 8 Main Street parking slots between Middle and Water Streets
 - c) Seasonal loss of 7 parking slots on Water Street and 5 parking slots on Middle Street
 - d) Addition of 46 parking spaces on Railroad Avenue (includes 2 bus parking slots)
 - e) Addition of 17 new parking slots at the Town Wharf
 - f) Net increase of 42 downtown parking spaces
 - 2) Option 2 Parking Impacts
 - a) Loss of 1 parking slot on Main Street south of Middle Street
 - b) Loss of 25 Main Street parking slots between Middle and Water Streets
 - c) Seasonal Loss of 7 parking slots on Water Street and 5 parking slots on Middle Street
 - d) Addition of 46 parking spaces on Railroad Avenue (includes 2 bus parking slots)
 - e) Addition of 17 new parking slots at the Town Wharf
 - f) Addition of 29 new parking slots at the new Water Street Parking Lot
 - g) Net increase of 54 downtown parking spaces

- 10. MaineDOT Prefers Option 2 based on Improved Operations – It Provides:
 - A. The best improvement for traffic delays (reduction of 55%)
 - B. More downtown parking spaces and more parking options
 - C. Smoother and more uniform vehicle paths along Main Street, especially at Water Street
 - D. A more visually attractive downtown Main Street
 - E. Opportunity to enhance the downtown shopping experience
 - F. Opportunity to become a destination as “Maine’s Prettiest Village”



MEMORANDUM

To: Wiscasset PAC

From: Peter H. Wells, RLA - Berkshire Design Group, Inc.

Date: July 31, 2018

Project: Wiscasset Downtown Streetscape – Tree recommendations

Below is a list of recommended trees that will have a good chance of survival in an environment similar to downtown Wiscasset. Please note that this assumes the trees are planted properly, have adequate soil for root growth and are maintained throughout the year.

Small Trees (up to 30' ht.):

Japanese Tree Lilac – *Syringa reticulata*
Hedge Maple – *Acer campestre*
Paperbark Maple – *Acer griseum*
Trident Maple – *Acer buergeranum*

Medium Trees (up to 50')

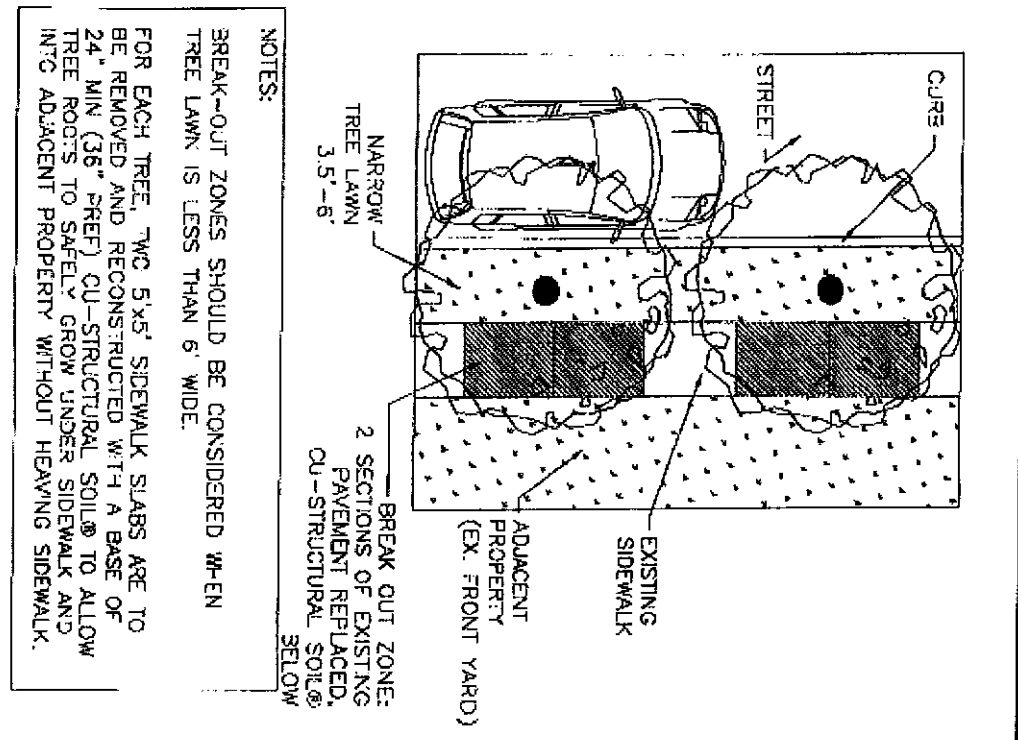
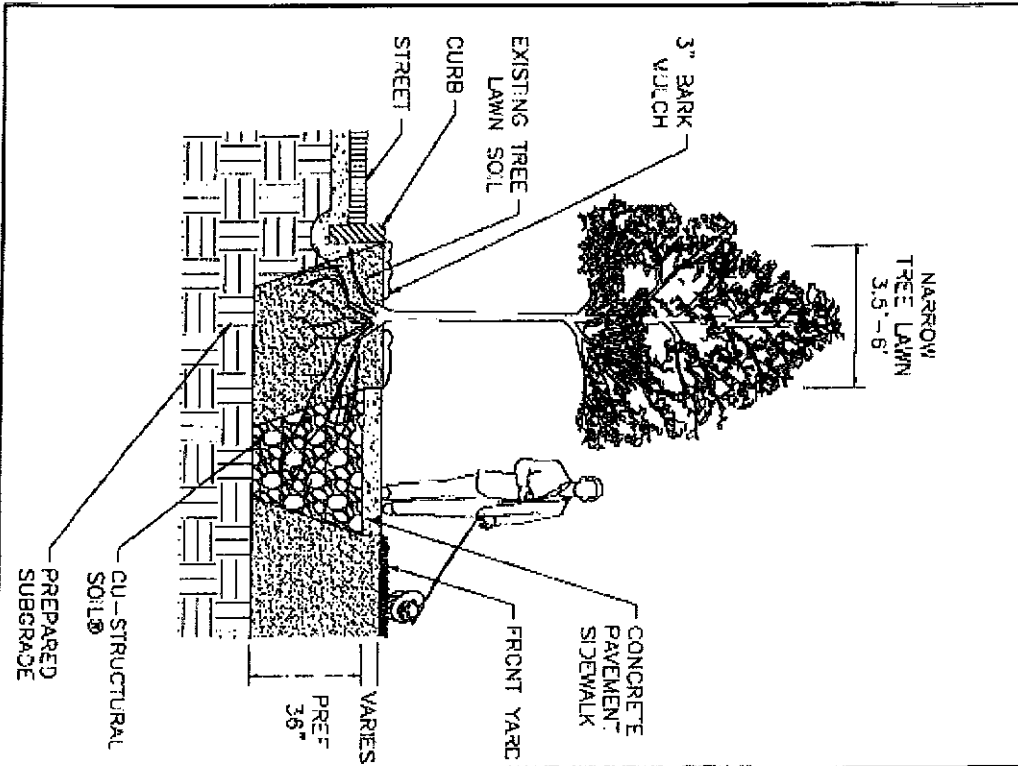
Honey Locust – *Gleditsia triacanthos*
Regent Scholartree – *Sophora japonica* 'Regent'

Standard Design Details

CU-Structural Soil® Break-out Zone from Narrow Tree Lawn to Adjacent Property

CU-STRUCTURAL SOIL® BREAK-OUT ZONE
FROM NARROW TREE LAWN TO ADJACENT PROPERTY

SCALE:
N.T.S.
DRAWN BY:
BRD



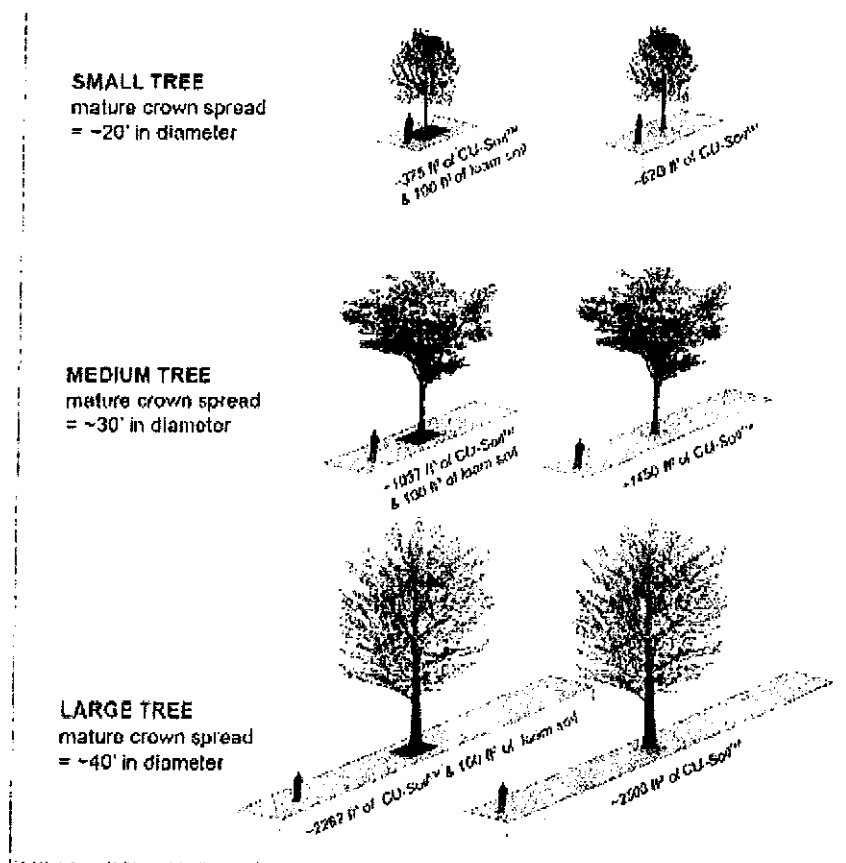
NOTES:
BREAK-OUT ZONES SHOULD BE CONSIDERED WHEN TREE LAWN IS LESS THAN 6' WIDE.
FOR EACH TREE, TWO 5'x5' SIDEWALK SLABS ARE TO BE REMOVED AND RECONSTRUCTED WITH A BASE OF 24" MIN (36" PREF) CU-STRUCTURAL SOIL® TO ALLOW TREE ROOTS TO SAFELY GROW UNDER SIDEWALK AND INTO ADJACENT PROPERTY WITHOUT HEAVING SIDEWALK.

Practical Matters and FAQ

What volume of CU-Soil® is needed?

Similar to naturally occurring soil types, to quickly estimate the volume of CU-Structural Soil® needed to support a mature tree, it is best to **plan for two cubic feet of CU-Soil® per every square foot of tree crown projection.**⁸

Trees growing in CU-Structural Soil® in areas that normally use irrigation to grow trees should also provide low volume drip irrigation in CU-Structural Soil® installations.



CU-Structural Soil® volumes needed to support trees of various sizes

⁸ Lindsay, P. and N. Bassuk. "Redesigning the urban forest from the ground below: A new approach to specifying adequate soil volumes for street trees." *Arboricultural Journal* 16 (1992): 25-39.

Sand soil must be mixed to tight tolerances, with between 2 and 4 percent clay content. This narrow mix tolerance is difficult to achieve, except by the most highly controlled operations. Adding clay to sand, especially in small amounts, has always proved challenging. The mix requires the use of calcium-free sand. It also requires extensive soil testing of mix design and compaction during installation, using equipment and contractors specialized for the production of golf-course mixes. During installation, compaction tolerances are very sensitive and must be tightly controlled.

Data on the value of sand structural soil, with respect to rooting volume for supporting crown area, are not available. Do not use the methodology outlined in Part 2, Chapter Four to predict tree response to soil volume. For soil that is not irrigated or fertilized, the ratio of roots to soil volume may be substantially less than that for loam soil.

It is likely that sand soils will prove useful in places where a high degree of surface compaction from foot traffic is anticipated and where it is not critical to compact the soil more than 85 percent. These applications might include lawn areas with large trees and flexible paving such as precast concrete pavers. They are best suited under gravel paving, where minor settlement is acceptable. Until the soil's ability to be compacted while continuing to support roots is documented, it should not be recommended as a paving subgrade.

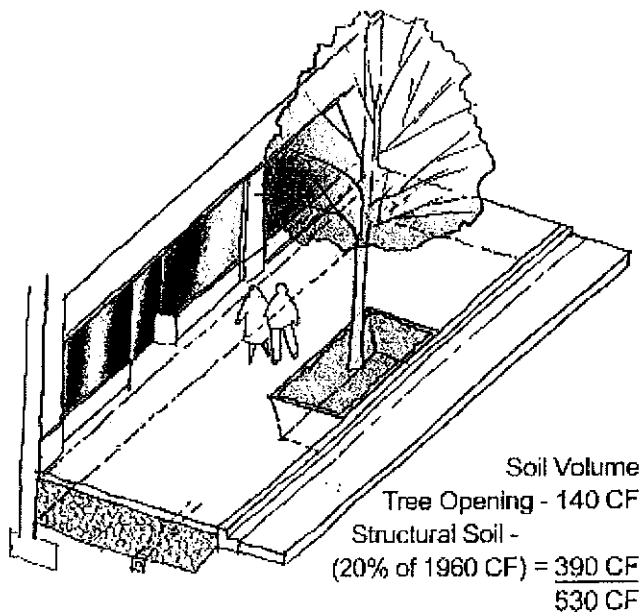


Figure 2.B.22. Soil/aggregate structural soils. Note that only the amount of soil in the structural soil mix is counted as available for tree rooting.

Soil/Aggregate Structural Soils

In the mid-1990s, Cornell University developed CU Structural Soil. This is a mixture of stone aggregate and soil, with a small amount of polymer gel to hold it together, which can be compacted to 95 percent of dry density and still support root growth. The mix takes advantage of the fact that there are about 20 to 25 percent void spaces between pieces of compacted gravel, which can be filled with soil to support root growth. The approximate formula is 20 percent clay loam soil, 80 percent 3/4-inch angular gravel with no fines, and 0.03 percent polymer gel. It is important that the aggregate be angular in shape and the stone pieces similar in size. The wider the range of the aggregate sizes and the less angular the stone, the less space for soil and roots. The clay loam soil should be approximately 25 to 35 percent clay to maximize water-holding capacity. Too much clay in the soil can cause mixing problems.

CU Structural Soil is a patented formula marketed by Amereq of New York. Designers who want to use CU Structural Soil should work with Amereq or one of its licensed suppliers to obtain the correct mix ratio. Similar products and local variations have appeared on the market. Settlement failures have been recorded in mixes that provide more soil than recommended by Cornell. Use a contractor with demonstrated experience in mixing and placing this material.

Michael Mills, in Vancouver, British Columbia, has developed a slightly different mix that he has been installing for more than 10 years. The Carolina Stalite Company markets a structural soil called Permatil, which is made with expanded shale and is in roughly the same proportions as the CU mix. Neither Mills nor Carolina Stalite uses polymer gel. The use of expanded shale makes the resulting product more expensive, but provides a higher cation exchange than crushed aggregate, which may be of benefit to the tree. A long-term experiment examining the relative effectiveness

of different types of soil systems was started in 2004 by the Bartlett Lab in Charlotte, N.C. Early results indicate that structural soil does not grow trees as well as uncompacted soil. However, it may be many years before sufficient data are available to reach final conclusions.

Even with the addition of polymer gel, installations of CU soil have been observed where the soil has shaken to the bottom of the truck and formed soil balls. This renders the soil useless for the tree. Inspections during installation are important. Mix designs that do not use polymer gel rely on correct moisture content and special handling to avoid separation, or add other types of soil stabilizers.

The greatest limitation of the soil/aggregate formula is the small amount of actual soil in the mix. Only about 20 percent of the mix volume is available for use by the tree. The rest of the volume is rock, whose primary function is to support the structure above. Trees will not grow larger than the volume of soil provided. To achieve 1 cubic foot of usable soil under the sidewalk, a designer must specify 5 cubic feet of soil/aggregate structural soil. This requires significant space and large budgets to achieve required soil volumes. Normally, other options to improve soil under paved areas are more cost effective.

Roots must grow through the small spaces between the aggregate and eventually will expand to a larger size than these openings. The roots become kinked as they expand. The long-term impact of these small openings on root strength and function has not been tested. Larger-size aggregate, approximately 1-1/2 inches, has been used to provide more space between the stones. This may increase the size of roots that can grow in the soil. Interestingly, the larger aggregate has larger spaces, but the soil volume does not increase.

In many regions of the United States, the most cost-effective crushed stone available is limestone. Limestone can raise the pH of the soil to 8.0 or higher. This requires using trees tolerant of high pH. Non-limestone aggregates are usually available, but are more expensive and harder to obtain. In the Chicago region, for example, granite railroad ballast is being used in structural soil applications as a substitute for the local limestone aggregate, which raises the cost of the product.

Soil/aggregate structural soils are well drained and much dryer than loam soil, and therefore irrigation may be needed. Installation also requires compaction of the subgrade, which may create poor drainage under the structural soil, making subsurface drainage mandatory.

Figure 2.6.25. More than five years after planting, trees on the right growing in structural soil require irrigation and are showing fall color in early August. Trees on the left are growing well in loam soil without additional water.

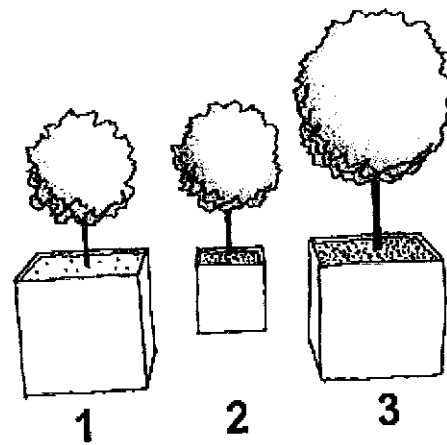


Figure 2.6.23. Free response to soil/aggregate structural soil. Trees 1 and 2 grew to approximately the same size, while tree 3 grew in proportion to the soil volume in its container.

1. Tree growing in soil/aggregate structural soil.
2. Tree growing in the volume of loam soil without aggregate present in the structural soil of tree 1.
3. Tree growing in a container of equal size to tree 1 but filled with loam soil and no aggregate.

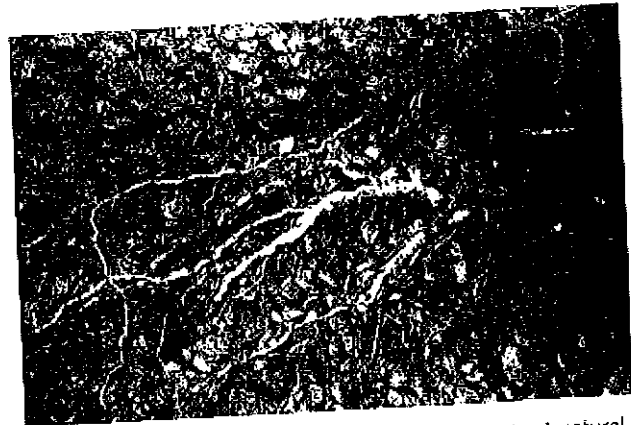


Figure 2.6.24. Roots growing through soil/aggregate structural soil.



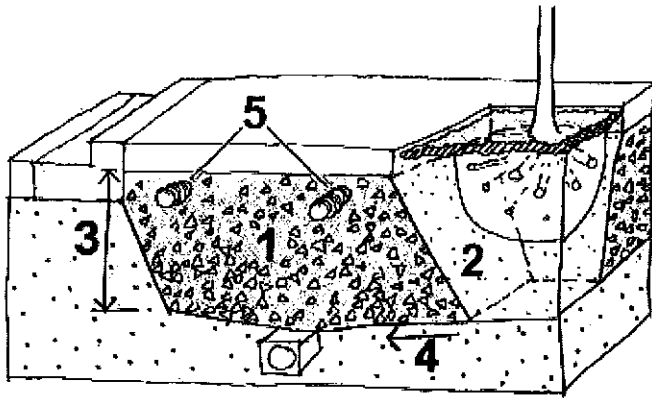


Figure 2.6.26. Soil/aggregate structural soil detail.

1. Soil aggregate structural soil. Note slopes on excavation and at edge of tree opening.
2. Planting soil—never structural soil—within the tree opening.
3. Provide soil as deep as possible. Provide 5,000 cubic feet of structural soil per tree to attain 1,000 cubic feet of actual soil.
4. Slope excavation toward drain system.
5. Watering lines spaced 3 to 4 feet on center in the top of the structural soil.

ing. Require an angle of repose on the compacted structural soil around the tree opening to support the paving edge.

The subgrade below soil/aggregate structural soil must be compacted to 95 percent of dry density. A geotextile separator may be needed where subgrade soil conditions are plastic enough to permit gravel migration into the subgrade, which may cause settlement within the structural soil.

Before paving is installed, protect stockpiled structural soil and installed material from rain with plastic sheets. Heavy rains can wash the soil out of the aggregate.

Given the extreme inefficiency of the ratio of excavated volume to soil usable by the tree, strips of structural soil less than 20 feet wide might be better constructed as soil trenches or structural cells (see description later in this chapter), where more soil can be included for less cost. A 5-foot-wide soil trench set of structural cells, as described in this chapter, will provide more soil usable by the tree than a 20-foot-wide trench of soil/aggregate structural soil.

Soil/aggregate structural soils may have applications as a transition to other options and to add soil in places where other options may not be practical. These might include tight, conformed spaces and fills around utility lines and against foundations where full compaction is required.



Figure 2.6.27. Cover structural soil with plastic after installation to prevent erosion. (Source: FII)

The rapid drainage in structural soil makes it necessary to irrigate not just the tree opening, but also the entire soil volume. (See discussions on irrigation elsewhere in this chapter.)

Structural soils of any kind should never be used in situations where they are not needed for structural purposes. Other soil options may work better for the soil within the tree opening not covered by paving, and for flexible paving where smooth surfaces are not required. Never use structural soil within a tree opening. This soil never needs to be compacted to 95 percent, and providing high-quality soil around the root ball of the newly planted tree will improve its recovery from transplant-

Sand/Aggregate Structural Soil

German researchers have been working with a structural soil that is a mixture of sand and aggregate in a very controlled particle distribution curve. Several formulas are being developed and include the use of porous aggregates such as crushed brick or pumice. Researchers claim the mixes can be compacted for sidewalks and still support root growth.

In the cool, wet climate of northern Europe, these soils have supported trees for more than 10 years. These soils are extremely well drained, and are likely to have similar problems as CU soil if they are used in hotter or dryer climates. At this time, the only available research is in German. The distribution curves for the soil developed are available from Forschungsgesellschaft Landschaftsentwicklung Landschaftsbau B.V. (Landscaping and Landscape Development Research Society), otherwise known as the FLL.

Several suppliers of expanded shale products (ESCS) in the United States have developed similar soil mixes. Most of the time, these soil mixes are not compacted for paving. One exception is the Mormon Temple project in Salt Lake City, where a large-scale application of this mix was compacted to support paving. Tree failure occurred in areas where the irrigation system failed.

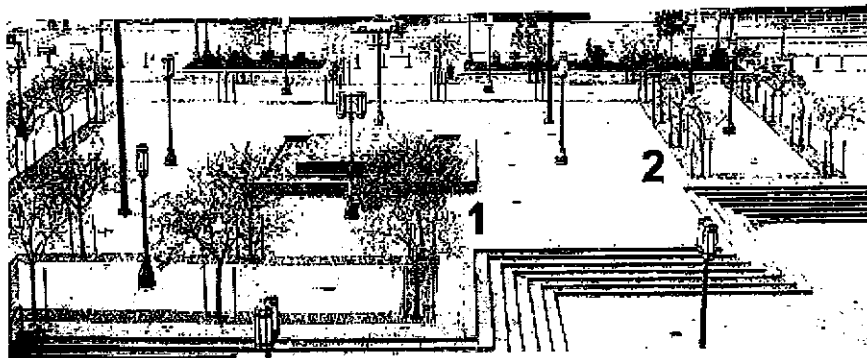


Figure 2.6.28. At the Mormon Temple, LSCS soils are irrigation-dependent.

1. Trees in foreground and left, surviving but irrigation dependent.
2. Trees on right and back suffered 100 percent loss when irrigation zone failed and were replanted. Note: None of these trees have grown large and all are stressed.

Suspended Sidewalk and Structural Cells

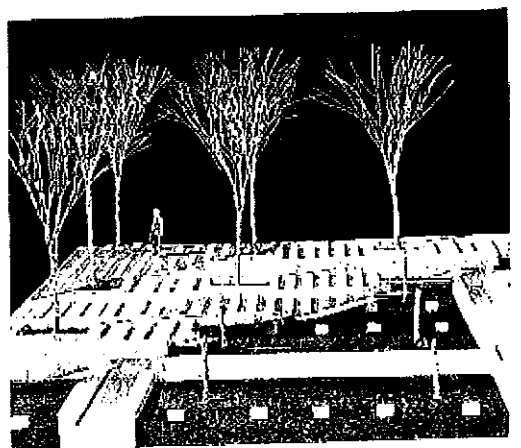
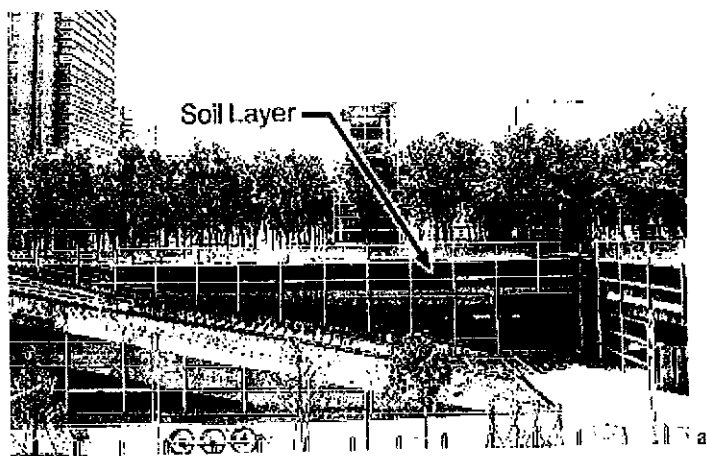
All the previously described options for root space under the sidewalk provide only limited soil volumes. A different approach is to suspend the sidewalk structure above the soil with columns and beams to create a grid like structure that supports a deck. The space within the post-and-beam structure is available for low-compacted soil and tree roots.

There have been a number of attempts to make suspended sidewalks. The City of Charlotte, North Carolina, has made columns of poured-in place concrete by digging deep holes to make concrete columns in low-compacted soil and pouring a reinforced sidewalk over the tops of the columns. This system is labor-intensive and requires site-specific engineering to meet required loading standards. Arborists in the Netherlands have tried filling plastic water-storage boxes with soil. They found the boxes difficult to fill and roots being girdled as they passed through the small holes in the sides of the boxes. A plastic and concrete prefabricated system designed to store water has also been tried in the Netherlands. This system is also very labor-intensive to install, and a rebar-reinforced concrete structure must be designed to top the plastic system.

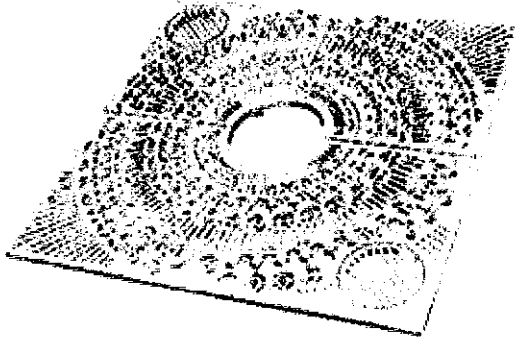
The most interesting suspended paving system is Sky Forest in Japan, designed by landscape architect Peter Walker, where an intricate post-and-beam system was installed to support paving and the resulting space filled with soil. The design is remarkable for the efficiency of its structure, and the trees appear to be thriving in the large quantity of high quality soil. While the system required significant engineering and attention to detail, it might be replicated with a prefabricated system.

Figure 2.6.29. Sky Forest, Saitama Plaza, Tokyo, Japan. (Photos: Peter Walker + Partners)

- a. Thick layer of soil beneath a suspended paving structure has produced a successful grove of Zelkova trees.
- b. Model of the structural system.



Amenities



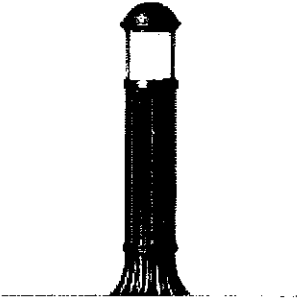
Tree grates.



Bike Racks MDOT will supply three and town can install them.



Granite Posts. 6" x 6" granite posts with black powder coated chain. 10' apart spacing



Columbia Bollard for Railroad Avenue will be black.



Japanese Lilac.



Spring City lamp post and fixture – “Clearwater”

Sidewalk Light – 9’ 4” tall. Fixture 3’ 9” tall. Dark Sky compliant. Will include chimney for authenticity.

Post includes ladder rest and flag pole holder. GFI outlet included. 3000K warm/soft light

Street lamps. Signal poles will be black in color, a fluted design.

Railings The railings are going to mimic the style of the existing ones just will have more vertical members and the handrail portion will be modified to meet ADA & safety requirements.

Granite Seating area We don't have a picture of what the granite seating wall will look like, drawing is attached, but it will be granite seating blocks with a granite cap. Approximately 30" in height.

Stairways The concrete will be repaired. Steps will have a 2" thick 12" wide granite tread. Cobble facing on the sides of stairways will be repointed with a stone cap on top.

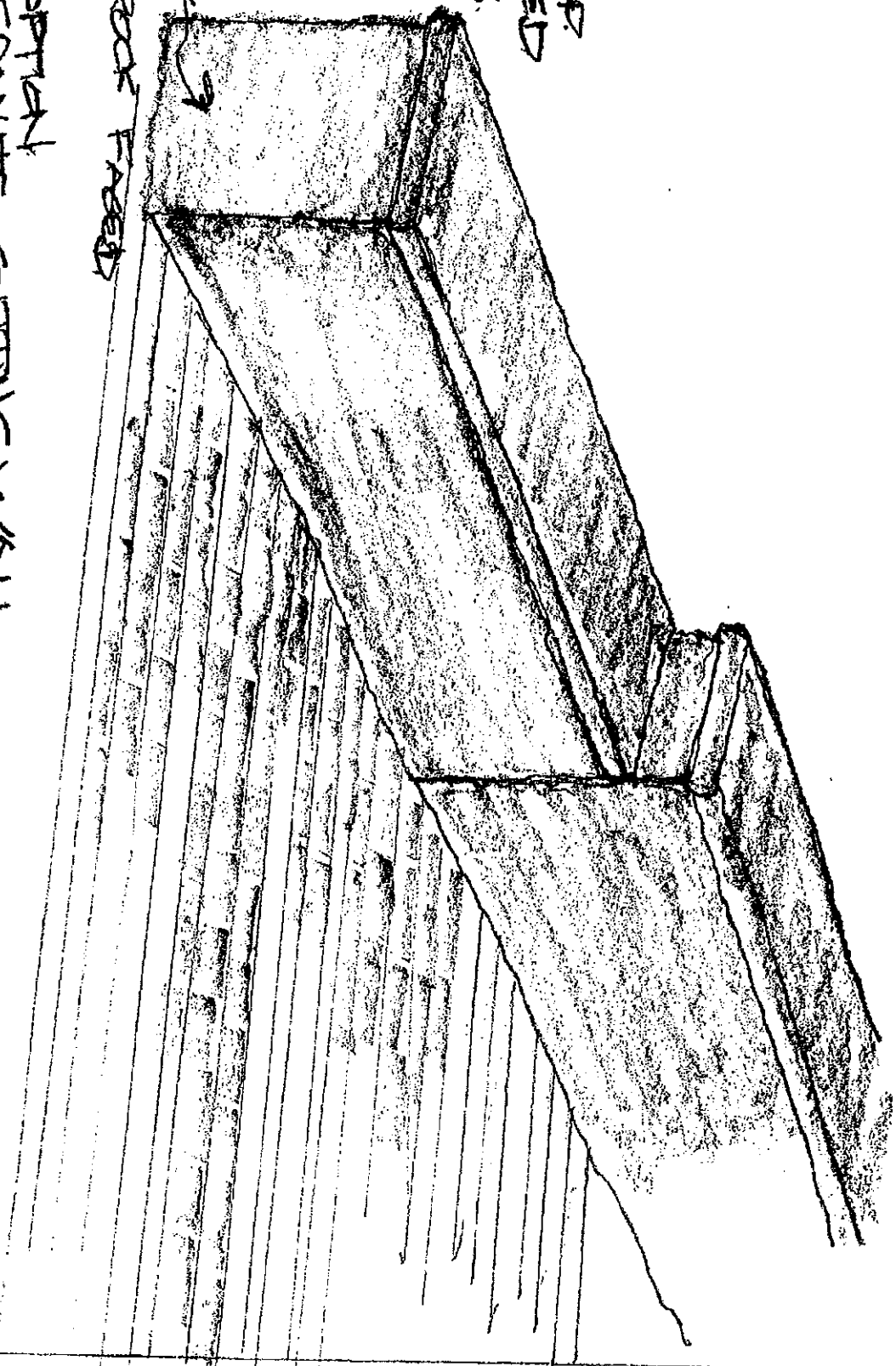
Sidewalk Brick Will be Morin Brick artisan flashed Bostonian Blend Paver Brick.

Signal Poles Will be black in color, a fluted design. Also will have lights on top to illuminate intersection to do away with CMP lights above.

2" GAP
FLANDED
GRANITE.

GRANITE
SHARP
WALL
FURT/ROCK
FACE

OPTIMAL
GRANITE SITTING WALL
W/SHARP CORNER
5 FEET 9" APPROX





Alternatives to or complimentary to planting trees on Main Street



Wiscasset Fire Department
51 Bath Road
Wiscasset, Maine 04578
207-882-8210
Email: wiscassetfire@wiscasset.net

8b

TJ Merry
Fire Chief

To: Marian Anderson, Town Manager
From: TJ Merry, Fire Chief
Date: 08/27/2018
Re: Monthly Report

In the month of July the Wiscasset Fire Dept. responded to 23 calls for service.

- 11 MVA
- 1 Structure Fire
- 1 Brush Fire
- 1 Car Fire
- 2 Fire Alarms
- 3 Service Call
- 2 Co2
- 1 Smoke Investigation
- 1 Assist to WEMS

For training that month we invited Dresden Fire to our training facility to cut cars using our new battery operated extrication tools.

There are currently 17 members on our active roster, with 10 on our lifetime membership roster.

Respectfully Submitted,
TJ Merry, Fire Chief

Excerpt from the Rules of Order and Procedure for Wiscasset Selectboard:

2. **Board Meeting Agenda**: All reports, communications, resolutions, documents or other matter to be submitted to the Board shall be delivered to the Town Manager's office by the end of business on the Wednesday before the regular meeting if they are to be considered for placement on the agenda for that meeting. The Town Manager will draft the agenda and obtain the Chairman's approval before distribution. Matters which are not on the agenda may be brought before the Board only when the Board votes to suspend the rules of procedure and add that matter to the agenda. Agenda items should state clearly the scope and intent of the action to be taken. The agenda will be delivered to the Board and posted by the Town Manager by the end of business on the Thursday before the next regularly scheduled Board meeting.

10a

Exhibit E

**PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY**

TOWN OF WISCONSSET
BALANCE SHEET - GOVERNMENTAL FUNDS
JUNE 30, 2018

ASSETS:	GENERAL FUND	GENERAL EQUIPMENT	CAPITAL RESERVE	CONSTRUCTION RESERVE	CEMETERY PERPETUAL CARE	RECREATION BUILDING RESERVE	NONMAJOR FUNDS	TOTAL
Cash	\$ 1,209,093.32	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 196,152.75	\$ 1,405,246.07
Investments	61,224.39	3,988,547.58	1,740,291.49	2,575,609.02	1,939,989.87	1,746,443.40	2,548,815.42	14,539,696.78
Prepaid Expenses							22,457.52	61,224.39
Inventory	567,769.22							567,769.22
Taxes Receivable	709,162.74							709,162.74
Tax Liens	205,916.05							205,916.05
Accrued Property Taxes	1,344,210.55							1,551,961.90
Accounts Receivable	1,888.11							574,201.57
Due From Other Funds								
Total Assets	\$ 4,099,266.68	\$ 3,988,547.58	\$ 1,740,291.49	\$ 2,575,609.02	\$ 1,939,989.87	\$ 1,746,443.40	\$ 3,547,990.20	\$ 19,637,638.24
LIABILITIES, DEFERRED INFLOWS, AND FUND BALANCE:								
Liabilities								
Accounts Payable	\$ 427,238.02	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 427,238.02
Accrued Payroll and Taxes	759,298.41							759,298.41
Due To Other Funds	672,981.35							672,981.35
Total Liabilities	\$ 1,859,517.78	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,859,517.78
Deferred Inflows of Resources								
Deferred Revenue	\$ 20,184.59	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 206,100.00	\$ 226,284.59
Deferred Tax Revenue	499,720.00							499,720.00
Total Deferred Inflows of Resources	\$ 510,904.59	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 206,100.00	\$ 726,004.59
Fund Balance								
Non-Spendable	\$ 61,224.39	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 61,224.39
Restricted	1,249,693.88						1,315,363.46	2,565,057.34
Committed		3,988,547.58	1,740,291.49	2,575,609.02	1,939,989.87	1,746,443.40	1,531,935.10	13,522,816.46
Assigned for Other Purposes	75,293.92						670,459.14	745,753.06
Unassigned	333,632.12						(176,367.80)	157,264.32
Total Fund Balance	\$ 1,719,844.31	\$ 3,988,547.58	\$ 1,740,291.49	\$ 2,575,609.02	\$ 1,939,989.87	\$ 1,746,443.40	\$ 3,341,390.20	\$ 17,052,115.87
Total Liabilities, Deferred Inflows, and Fund Balance	\$ 4,099,266.68	\$ 3,988,547.58	\$ 1,740,291.49	\$ 2,575,609.02	\$ 1,939,989.87	\$ 1,746,443.40	\$ 3,547,990.20	\$ 19,637,638.24

The accompanying notes are an integral part of the financial statements.

TOWN OF WISCONSSET
STATEMENT OF REVENUES, EXPENDITURES, AND CHANGES IN
FUND BALANCES - GOVERNMENTAL FUNDS
FOR THE YEAR ENDED JUNE 30, 2018

PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

REVENUES:	GENERAL FUND	GENERAL EQUIPMENT	CAPITAL RESERVE	CONSTRUCTION RESERVE	CEMETERY PERPETUAL CARE	RECREATION BUILDING RESERVE	NONMAJOR FUNDS	TOTAL
Property Taxes	\$ 8,451,881.71	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 10,000.00	\$ 8,461,881.71
Excise Taxes	695,187.92							695,187.92
Intergovernmental Revenues	421,353.81						345,650.74	765,004.55
Leisure Services	481,447.04							481,447.04
General Government	44,374.80						57,517.64	101,892.44
General Assistance	5,117.06							5,117.06
Public Works	49,384.00							49,384.00
Public Safety	358,773.23							358,773.23
Miscellaneous	87,174.71				1,355.00		9,437.61	97,967.32
Investment Income	57,012.70		214,558.49	221,472.99	185,835.15	169,359.74	250,159.97	1,489,537.40
Airport Fees	251,734.38	391,128.36						231,734.38
Maine Yankee Impact Fee	149,253.00							149,253.00
Sale of Property	30,022.00							30,022.00
Health and Sanitation	288,675.54							288,675.54
Education	4,048,347.24							4,048,347.24
Total Revenues	\$ 15,399,739.14	\$ 391,128.36	\$ 214,558.49	\$ 221,472.99	\$ 187,190.15	\$ 169,359.74	\$ 670,765.96	\$ 17,254,214.83
EXPENDITURES:								
Education	\$ 10,120,277.10	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 10,120,277.10
General Government	800,271.91						20,943.82	821,215.73
Public Assistance	82,841.89						4,293.50	87,135.09
Public Works	659,161.17						335,165.67	994,326.84
Public Safety	1,444,292.36						155,323.31	1,599,615.67
Leisure Services	842,923.91						19,304.42	862,228.33
Special Assessments	594,745.25						152,226.06	746,971.31
Miscellaneous	20,000.00							20,000.00
Debt Service	224,631.71							224,631.71
Unclassified	257,319.10							257,319.10
Health and Sanitation	553,440.34						95,899.43	649,339.77
Total Expenditures	\$ 15,599,904.44	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 783,156.21	\$ 16,383,060.65
Excess of Revenues Over (Under) Expenditures	\$ (200,165.30)	\$ 391,128.36	\$ 214,558.49	\$ 221,472.99	\$ 187,190.15	\$ 169,359.74	\$ (112,390.25)	\$ 871,154.18
OTHER FINANCING SOURCES (USES):								
Operating Transfers - In	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 775,412.84	\$ 775,412.84
Operating Transfers - Out	(218,259.09)	(30,000.00)	(527,153.75)	-	-	-	-	(775,412.84)
Lease Proceeds								
Total Other Financing Sources (Uses)	\$ (218,259.09)	\$ (30,000.00)	\$ (527,153.75)	\$ -	\$ -	\$ -	\$ 775,412.84	\$ -
Excess of Revenues and Other Sources Over (Under) Expenditures and Other Uses	\$ (418,424.39)	\$ 361,128.36	\$ (312,595.26)	\$ 221,472.99	\$ 187,190.15	\$ 169,359.74	\$ 663,022.59	\$ 871,154.18
Fund Balance, July 1, 2017	2,138,268.70	3,627,419.22	2,052,886.75	2,354,136.03	1,752,799.72	1,577,083.66	2,678,367.61	16,180,961.69
Fund Balance, June 30, 2018	1,719,844.31	3,988,547.58	1,740,291.49	2,575,609.02	1,939,989.87	1,746,443.40	3,341,390.20	17,052,115.87

The accompanying notes are an integral part of the financial statements.

TOWN OF WISCASSEI
STATEMENT OF FIDUCIARY NET POSITION
NONEXPENDABLE TRUST FUNDS
JUNE 30, 2018

	STUDENT ACTIVITIES	PRIVATE PURPOSE TRUST	TOTAL
ASSETS:			
Cash and Cash Equivalents	\$ 78,744.00	\$ -	\$ 78,744.00
Investments		1,038,719.26	1,038,719.26
Total Assets	<u>\$ 78,744.00</u>	<u>\$ 1,038,719.26</u>	<u>\$ 1,117,463.26</u>
LIABILITIES:			
Deposits Held for Others	\$ 78,744.00	\$ -	\$ 78,744.00
Due to Other Funds	-	1,888.41	1,888.41
	<u>\$ 78,744.00</u>	<u>\$ 1,888.41</u>	<u>\$ 80,632.41</u>
DEFERRED INFLOWS OF RESOURCES:			
Related to Pension	-	\$ 669.93	\$ 669.93
NET POSITION:			
Nonexpendable	\$ -	\$ -	\$ -
Restricted		1,036,160.92	1,036,160.92
Total Net Position	<u>\$ -</u>	<u>\$ 1,036,160.92</u>	<u>\$ 1,036,160.92</u>
Total Liabilities and Net Position	<u>\$ 78,744.00</u>	<u>\$ 1,038,719.26</u>	<u>\$ 1,116,793.33</u>

PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

Exhibit H

STATEMENT OF CHANGES IN FIDUCIARY NET POSITION
NONEXPENDABLE TRUST FUNDS
FOR THE YEAR ENDED JUNE 30, 2018

	PRIVATE PURPOSE TRUST	TOTAL
REVENUES:		
Contributions	\$ -	\$ -
Capital Gains/Losses & Unrealized Appreciation	94,184.26	94,184.26
Total Revenues	<u>\$ 94,184.26</u>	<u>\$ 94,184.26</u>
EXPENSES:		
Fiduciary Fees	\$ 6,460.84	\$ 6,460.84
Professional Fees	1,800.00	1,800.00
Retirees Health Insurance	37,065.93	37,065.93
Total Expenses	<u>\$ 45,326.77</u>	<u>\$ 45,326.77</u>
Excess Revenues Over (Under) Expenses	\$ 48,857.49	\$ 48,857.49
OTHER FINANCING SOURCES (USES):		
Transfers - Out	-	-
Change in Net Position	\$ 48,857.49	\$ 48,857.49
Net Position, July 1, 2017	987,303.43	987,303.43
Net Position, June 30, 2018	<u>\$ 1,036,160.92</u>	<u>\$ 1,036,160.92</u>

TOWN OF WISCASSET
STATEMENT OF REVENUES, EXPENDITURES, AND CHANGES IN NET POSITION - WASTEWATER
FOR THE YEAR ENDED JUNE 30, 2018

OPERATING REVENUES:

Residential and Commercial Services	\$ 468,967.72
Miscellaneous	800.80
Connection Fee	323.58
Impact Fees	2,325.60

Total Operating Revenues	<u>\$ 472,417.70</u>
--------------------------	----------------------

OPERATING EXPENSES:

Salaries and Wages	\$ 142,508.83
Employee Benefits	42,445.92
Depreciation	167,109.56
Insurance	28,770.62
Office Expenses	4,132.09
Operating Supplies	15,513.91
Payroll Taxes	10,982.66
Professional Services	61,736.88
Repairs and Maintenance	21,491.88
Sludge	19,984.42
Utilities	85,866.13

Total Operating Expenses	<u>\$ 600,542.90</u>
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Net Operating Loss	<u>\$ (128,125.20)</u>
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OTHER REVENUE (EXPENSE):

Interest Expense	\$ (34,687.21)
Capital Maintenance	(12,615.15)
Total Other Revenue (Expense)	<u>\$ (47,302.36)</u>

Change in Net Position	<u>\$ (175,427.56)</u>
------------------------	------------------------

Net Position, July 1, 2017	2,899,576.33
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Net Position, June 30, 2018	<u>\$ 2,724,148.77</u>
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PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

TOWN OF WISCASSET
 STATEMENTS OF CASH FLOWS
 WASTEWATER DEPARTMENT - ENTERPRISE
 FOR THE YEAR ENDED JUNE 30, 2018

CASH FLOWS FROM OPERATING ACTIVITIES:

Receipts from Users	S 478,130.27
Payment to Employees	(142,508.83)
Payment to Vendors	(303,539.66)
Payment on Bonds	(61,429.00)
Cash Transfer from (to) Town	29,347.22
	<hr/>
Net Cash Provided by Operating Activities	S 0.00
	<hr/>
Change in Cash	S 0.00
Cash Balance, July 1, 2017	-
Cash Balance, June 30, 2018	<hr/> <u>S 0.00</u>

Cash Paid for:
Interest

S 23,768.03

PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

TOWN OF WISCASSET
 BUDGETARY COMPARISON SCHEDULE - GENERAL FUND
 FOR THE YEAR ENDED JUNE 30, 2018

	ORIGINAL AND FINAL BUDGET	ACTUAL
REVENUES:		
Property Taxes	\$ 8,595,441.79	\$ 8,451,881.71
Excise Taxes	561,000.00	695,187.92
Intergovernmental Revenues	419,824.93	421,353.81
Leisure Services	546,800.00	481,447.04
General Government	25,500.00	44,374.80
General Assistance	8,000.00	5,117.06
Public Works	47,000.00	49,384.00
Public Safety	316,350.00	358,773.23
Miscellaneous	43,702.00	87,174.71
Interest	48,000.00	57,012.70
Airport Fees	223,725.00	231,734.38
Maine Yankee Impact Fee	149,253.00	149,253.00
Sale of Property		30,022.00
Health and Sanitation Revenue	256,800.00	288,675.54
Education		4,048,347.24
Total Revenues	\$ 11,241,396.72	\$ 15,399,739.14
EXPENDITURES:		
Education	\$ 6,038,449.00	\$ 10,120,277.10
General Government	824,948.00	800,271.91
Public Assistance	92,876.00	82,841.59
Public Works	665,997.00	659,161.17
Public Safety	1,447,574.00	1,444,292.36
Leisure Services	875,084.00	842,923.91
Special Assessments	594,745.25	594,745.25
Miscellaneous	20,000.00	20,000.00
Debt Service	228,234.48	224,631.71
Unclassified	274,784.00	257,319.10
Health and Sanitation	555,873.00	553,440.34
Total Expenditures	\$ 11,618,564.73	\$ 15,599,904.44
Excess of Revenues Over Expenditures	\$ (377,168.01)	\$ (200,165.30)
OTHER FINANCING SOURCES (USES):		
Operating Transfers - Out	\$ (217,634.01)	\$ (218,259.09)
Operating Transfers - In	-	-
Total Other Financing Sources (Uses)	\$ (217,634.01)	\$ (218,259.09)
Excess of Revenues and Other Sources Over (Under)		
Expenditures and Other Uses	\$ (594,802.02)	\$ (418,424.39)
Fund Balance, July 1, 2017	2,138,268.70	2,138,268.70
Fund Balance, June 30, 2018	\$ 1,543,466.68	\$ 1,719,844.31

PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

TOWN OF WISCASSET
STATEMENT OF CHANGES IN UNAPPROPRIATED SURPLUS
FOR THE YEAR ENDED JUNE 30, 2018

Unappropriated Fund Balance, July 1, 2017	\$	793,112.57
INCREASE:		
Operating Account Balances Lapsed - Net (Schedule A-3)	\$	302,791.55
Decrease in Deferred Property Taxes		302,791.55
Total Available	\$	1,095,904.12
DECREASE:		
Increase in Deferred Property Taxes	\$	143,272.00
Appropriated at Commitment		762,272.00
Unappropriated Fund Balance at June 30, 2018	\$	333,632.12
Appropriated for 2018/2019 Tax Commitment		-
	\$	333,632.12

PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

TOWN OF WISCASSET
STATEMENT OF DEPARTMENTAL OPERATIONS
FOR THE YEAR ENDED JUNE 30, 2018

	REVENUE	APPROPRIATIONS	EXCESS (SHORTFALL)
GENERAL GOVERNMENT REVENUES:			
Interest on Property Taxes	\$ 52,632.36	\$ 48,000.00	\$ 4,632.36
Homestead Reimbursement	172,276.00	172,275.89	0.11
State Reimbursements	51,089.20	54,665.35	(3,576.15)
State Revenue Sharing	197,988.61	192,883.69	5,104.92
General Assistance	5,147.06	8,000.00	(2,882.94)
Supplemental Taxes	9,220.53		9,220.53
Excise Taxes	695,187.92	561,000.00	134,187.92
Interest Income	4,380.34		4,380.34
Fees and Permits	44,374.80	25,500.00	18,874.80
Miscellaneous Income	87,174.71	43,702.00	43,472.71
	<u>\$ 1,319,441.53</u>	<u>\$ 1,106,026.93</u>	<u>\$ 213,414.60</u>
PUBLIC SAFETY REVENUES:			
EMS Fees	\$ 353,675.64	\$ 315,000.00	\$ 38,675.64
Police Department Fees	5,097.59	1,350.00	3,747.59
	<u>\$ 358,773.23</u>	<u>\$ 316,350.00</u>	<u>\$ 42,423.23</u>
HEALTH AND SANITATION REVENUE:			
Transfer Station Fees	\$ 288,675.54	\$ 256,800.00	\$ 31,875.54
PUBLIC WORKS REVENUE:			
Local Road Assistance	\$ 48,684.00	\$ 47,000.00	\$ 1,684.00
Driveway Permits	700.00		700.00
	<u>\$ 49,384.00</u>	<u>\$ 47,000.00</u>	<u>\$ 2,384.00</u>
LEISURE SERVICES REVENUE:			
Waterfront Excise Taxes	\$ 6,104.05	\$ 6,050.00	\$ 54.05
Waterfront Fees	22,574.35	14,750.00	7,824.35
Community Center - Senior Services	6,295.00	5,000.00	1,295.00
Community Center - Fees	446,473.64	521,000.00	(74,526.36)
	<u>\$ 481,447.04</u>	<u>\$ 546,800.00</u>	<u>\$ (65,352.96)</u>
UNCLASSIFIED REVENUE:			
Airport Fees	\$ 231,734.38	\$ 223,725.00	\$ 8,009.38
Maine Yankee Impact Fee	149,253.00	149,253.00	-
Sale of Property	30,022.00		30,022.00
	<u>\$ 411,009.38</u>	<u>\$ 372,978.00</u>	<u>\$ 38,031.38</u>

PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

TOWN OF WISCONSIN
STATEMENT OF DEPARTMENTAL OPERATIONS
FOR THE YEAR ENDED JUNE 30, 2018

	BALANCE FORWARD 7/1/16	APPROPRIATIONS	CASH RECEIPTS	OTHER CREDITS	TOTAL	CASH DISBURSED	OTHER CHARGES	UNEXPENDED (OVER/DRAFT)	BALANCE FORWARD 6/30/17
GENERAL GOVERNMENT:									
Administration	\$ -	\$ 193,564.00	\$ -	\$ -	\$ 193,564.00	\$ 181,922.30	\$ -	\$ 11,641.70	\$ -
Office of the Solicitor		27,247.00			27,247.00	25,401.10		1,845.90	
Town Assessor		6,097.00			6,097.00	666.50		5,430.50	
Finance/Tax Collection		236,198.00			236,198.00	210,322.73		10,625.27	5,250.00
Town Clerk/Other		83,902.00			83,902.00	74,143.97		9,758.03	
Elections		21,226.00			21,226.00	13,640.62		7,585.38	
Municipal Building Maintenance		68,152.00			68,152.00	61,171.64		980.36	6,000.00
Community Planning	580.00	57,764.00			58,344.00	40.08		(97,574.67)	58,303.92
Contracted Services		116,000.00			116,000.00	213,574.67		10,478.31	
TAX Interest		17,000.00			17,000.00	6,521.66		10,478.31	
Unemployment		6,437.00			6,437.00	12,219.82		(5,782.82)	
Benefits									
Boards and Committees		1,361.00			1,361.00	959.82		401.18	
Planning Board									
	\$ 580.00	\$ 824,948.00	\$ -	\$ -	\$ 825,528.00	\$ 800,584.91	\$ -	\$ (41,610.83)	\$ 69,553.92
PUBLIC SAFETY:									
Police Department	\$ -	\$ 446,992.00	\$ -	\$ -	\$ 446,992.00	\$ 434,649.38	\$ 62,508	\$ 7,312.62	\$ 5,000.00
Fire Department		137,616.00			137,616.00	137,603.79		12.21	
Insurance		35,944.00			35,944.00	32,729.00		3,215.00	
Public Utilities		220,800.00			220,800.00	241,280.04		(20,480.04)	
Code Enforcement		50,485.00			50,485.00	42,967.07		7,517.93	
Wildlife Services		544,250.00			544,250.00	544,229.53		20.47	
Animal Control		11,487.00			11,487.00	11,083.55		403.45	
	\$ -	\$ 1,447,574.00	\$ -	\$ -	\$ 1,447,574.00	\$ 1,404,542.36	\$ 62,508	\$ (1,968,361)	\$ 5,000.00
HEALTH AND SANITATION:									
Transfer Station	\$ -	\$ 555,873.00	\$ -	\$ -	\$ 555,873.00	\$ 553,440.34	\$ -	\$ 2,432.66	\$ -
	\$ -	\$ 665,997.00	\$ -	\$ -	\$ 665,997.00	\$ 655,558.40	\$ -	\$ 10,438.60	\$ -
PUBLIC WORKS:									
Highways	\$ -	\$ 39,555.00	\$ -	\$ -	\$ 39,555.00	\$ 39,541.27	\$ -	\$ 213.73	\$ -
LEISURE SERVICES:									
Waterfront Harbors	\$ -	\$ 823,529.00	\$ -	\$ -	\$ 823,529.00	\$ 793,158.46	\$ -	\$ 30,370.54	\$ -
Recreation		12,000.00			12,000.00	10,424.18		1,575.82	
General Celebrations	\$ -	\$ 875,081.00	\$ -	\$ -	\$ 875,081.00	\$ 842,923.91	\$ -	\$ 32,160.09	\$ -

TOWN OF WISCONSSET
 STATEMENT OF DEPARTMENTAL OPERATIONS
 FOR THE YEAR ENDED JUNE 30, 2018

	BALANCE FORWARD 7/1/17	APPROPRIATIONS	CASH RECEIPTS	OTHER CREDITS	TOTAL	CASH DISBURSED	TRANSFERS OUT	UNEXPENDED (OVER/DRAFT)	BALANCE FORWARD 6/30/18
MISCELLANEOUS:									
Contingency	\$ -	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ -
PUBLIC ASSISTANCE:									
General Assistance	\$ -	\$ 25,076.00	\$ -	\$ -	\$ 25,076.00	\$ 15,041.59	\$ -	\$ 10,034.41	\$ -
Social Service Agencies	\$ -	67,800.00	-	-	67,800.00	67,800.00	-	-	-
	\$ -	\$ 92,876.00	\$ -	\$ -	\$ 92,876.00	\$ 82,841.59	\$ -	\$ 10,034.41	\$ -
FD: CAUTION:									
Adult Education	\$ -	\$ 10,000.00	\$ -	\$ -	\$ 10,000.00	\$ 10,000.00	\$ -	\$ -	\$ -
Wisconsin School Department	1,283,174.74	6,038,449.00	4,048,347.24	-	11,359,970.98	10,110,277.10	-	-	1,249,693.88
	\$ 1,283,174.74	\$ 6,038,449.00	\$ 4,048,347.24	\$ -	\$ 11,359,970.98	\$ 10,120,277.10	\$ -	\$ -	\$ 1,249,693.88
SCHOOL ASSESSMENTS:									
County Tax	\$ -	\$ 594,745.25	\$ -	\$ -	\$ 594,745.25	\$ 594,745.25	\$ -	\$ -	\$ -
Overlay	-	24,197.08	-	-	24,197.08	9,509.14	-	14,687.94	-
TH	-	217,634.01	-	-	217,634.01	-	217,634.01	-	-
	\$ -	\$ 836,576.34	\$ -	\$ -	\$ 836,576.34	\$ 604,254.39	\$ 217,634.01	\$ 14,687.94	\$ -
DEBT SERVICE:									
RSU #12 Withdrawal Loan	\$ -	\$ 228,234.48	\$ -	\$ -	\$ 228,234.48	\$ 228,234.48	\$ -	\$ -	\$ -
UNCLASSIFIED:									
Amput	\$ -	\$ 254,697.00	\$ -	\$ -	\$ 254,697.00	\$ 239,025.32	\$ -	\$ 15,671.68	\$ -
Shellfish Conservation	740.00	8,605.00	-	-	9,345.00	7,493.43	-	1,111.57	740.00
Nemur Center	\$ 740.00	\$ 11,482.00	\$ -	\$ -	\$ 11,482.00	\$ 10,238.06	\$ -	\$ 1,243.94	\$ 740.00
	\$ 740.00	\$ 274,781.00	\$ -	\$ -	\$ 274,781.00	\$ 256,756.81	\$ -	\$ 18,027.19	\$ 740.00
	\$ 1,284,494.74	\$ 11,860,395.82	\$ 4,048,347.24	\$ -	\$ 17,193,237.80	\$ 15,609,414.29	\$ 218,259.09	\$ 41,201.70	\$ 1,324,987.80

PRIMARY DEPT
 FOR DISCUSSION PURPOSE ONLY

TOWN OF WISCASSET
RECONCILIATION OF TREASURER'S CASH BALANCE
JUNE 30, 2018

Cash on Hand		\$	1,810.00
GENERAL FUND CHECKING:			
Bank: The First			
Balance Per Bank Statement	\$		1,243,479.08
Add: Deposits in Transit			3,225.81
Deduct: Outstanding Checks			<u>(676,851.31)</u>
Balance Per Books			569,853.58
SCHOOL CHECKING:			
Bank: The First			
Balance Per Bank Statement	\$		794,537.28
Add: Deposits in Transit			
Deduct: Outstanding Checks			<u>(178,872.09)</u>
Balance Per Books			615,665.19
DEBIT/CREDIT CARD ACCOUNT:			
Bank: The First			
Balance Per Bank Statement			21,766.55
Cash Balance, June 30, 2018			<u>\$ 1,209,095.32</u>

PRELIMINARY DRAFT
FOR DISCUSSION PURPOSES ONLY

TOWN OF WISCASSET
COMBINING BALANCE SHEET - NONMAJOR GOVERNMENTAL FUNDS
FOR THE YEAR ENDED JUNE 30, 2018

	SPECIAL REVENUE FUNDS	CAPITAL PROJECTS FUNDS	PERMANENT FUNDS	TOTAL NONMAJOR GOVERNMENTAL FUNDS
ASSETS:				
Cash and Cash Equivalents	\$ 116,839.51	\$ -	\$ 79,313.24	\$ 196,152.75
Accounts Receivable	207,751.35			207,751.35
Investments		1,326,017.48	1,222,797.94	2,548,815.42
Inventory	22,457.52			22,457.52
Due from Other Funds	353,143.26	205,917.62	13,252.28	572,313.16
Total Assets	<u>\$ 700,191.64</u>	<u>\$ 1,531,935.10</u>	<u>\$ 1,315,363.46</u>	<u>\$ 3,547,490.20</u>
LIABILITIES:				
Accounts Payable	\$ -	\$ -	\$ -	\$ -
Deferred Revenue	206,100.00			206,100.00
Due to Other Funds	-		-	-
Total Liabilities	<u>\$ 206,100.00</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 206,100.00</u>
FUND BALANCE:				
Nonexpendable	\$ -	\$ -	\$ -	\$ -
Restricted			1,315,363.46	1,315,363.46
Committed		1,531,935.10		1,531,935.10
Assigned	670,459.14			670,459.14
Unassigned	(176,367.50)			(176,367.50)
Total Fund Balance	<u>\$ 494,091.64</u>	<u>\$ 1,531,935.10</u>	<u>\$ 1,315,363.46</u>	<u>\$ 3,341,390.20</u>
Total Liabilities and Fund Balance	<u>\$ 700,191.64</u>	<u>\$ 1,531,935.10</u>	<u>\$ 1,315,363.46</u>	<u>\$ 3,547,490.20</u>

PRELIMINARY FINANCIAL STATEMENTS
FOR THE YEAR ENDED JUNE 30, 2018

TOWN OF WISCASSET
 COMBINING SCHEDULE OF REVENUES, EXPENDITURES, AND CHANGES IN FUND BALANCES
 NONMAJOR GOVERNMENTAL FUNDS
 FOR THE YEAR ENDED JUNE 30, 2018

	SPECIAL REVENUE FUNDS	CAPITAL PROJECT FUNDS	PERMANENT FUNDS	TOTAL NONMAJOR GOVERNMENTAL FUNDS
REVENUES:				
Dividends and Interest	\$ -	\$ 130,804.88	\$ 119,355.09	\$ 250,159.97
Intergovernmental	343,650.74			343,650.74
Charges for Services	57,072.64			57,072.64
Contributions			9,437.61	9,437.61
Reimbursements		-		-
Appreciation in Value		-	-	-
Sale of Cemetery Lots		445.00		445.00
Local Assessments	10,000.00			10,000.00
Total Revenues	<u>\$ 410,723.38</u>	<u>\$ 131,249.88</u>	<u>\$ 128,792.70</u>	<u>\$ 670,765.96</u>
EXPENDITURES:				
Scholarships	\$ -	\$ -	\$ 4,293.50	\$ 4,293.50
General Government	20,943.82	-		20,943.82
Education	-			-
Public Safety	27,814.56	127,508.75		155,323.31
Leisure Services	7,304.42	12,000.00		19,304.42
Public Works		335,165.67		335,165.67
Unclassified	67,323.88		28,575.55	95,899.43
Special Assessments	152,226.06			152,226.06
Total Expenditures	<u>\$ 275,612.74</u>	<u>\$ 474,674.42</u>	<u>\$ 32,869.05</u>	<u>\$ 783,156.21</u>
Excess of Revenues Over (Under) Expenditures	<u>\$ 135,110.64</u>	<u>\$ (343,424.54)</u>	<u>\$ 95,923.65</u>	<u>\$ (112,390.25)</u>
OTHER FINANCING SOURCES (USES):				
Operating Transfers - In	\$ 218,259.09	\$ 557,153.75	\$ -	\$ 775,412.84
Operating Transfers - Out		-	-	-
Lease Proceeds				-
Total Other Financing Sources (Uses)	<u>\$ 218,259.09</u>	<u>\$ 557,153.75</u>	<u>\$ -</u>	<u>\$ 775,412.84</u>
Net Change in Fund Balance	<u>\$ 353,369.73</u>	<u>\$ 213,729.21</u>	<u>\$ 95,923.65</u>	<u>\$ 663,022.59</u>
Fund Balance, July 1, 2017	140,721.91	1,318,205.89	1,219,439.81	2,678,367.61
Fund Balance, June 30, 2018	<u>\$ 494,091.64</u>	<u>\$ 1,531,935.10</u>	<u>\$ 1,315,363.46</u>	<u>\$ 3,341,390.20</u>

PRELIMINARY DRAFT
 FOR PUBLIC HEARING - 02/27/2018

TOWN OF WISTASSSET
 COMBINING SCHEDULE OF REVENUES, EXPENDITURES, AND CHANGES IN FUND BALANCE
 TRUST FUNDS
 FOR THE YEAR ENDED JUNE 30, 2018

	REVENUES		EXPENDITURES		EXCESS REVENUES OVER (UNDER) EXPENDITURES	FUND		
	RECEIPTS	INVESTMENT INCOME	TOTAL	CEMETERY MAINTENANCE		SCHOLARSHIPS	TOTAL	BALANCE JULY 1, 2017
Cemetery Trust Fund	\$ 1,355.00	\$ 185,835.15	\$ 187,190.15		\$	\$	\$ 1,752,799.72	\$ 1,939,989.87
General John French Scholarship		5,477.44	5,477.44				51,249.49	56,726.93
Jackson Cemetery Fund		2,654.99	2,654.99				24,841.34	27,496.33
Larche Band Fund		64,255.32	64,255.32				601,204.26	665,458.58
Langlet Scholarship		1,216.77	1,216.77				11,384.05	12,601.42
Mary Blakey Fund		39,134.82	39,134.82				366,163.99	405,298.81
Steth Wright Fund		2,459.12	2,459.12				23,008.71	25,467.83
Community Center Fundowment	4,137.64	3,599.78	7,737.42	1,993.50			2,606.76	2,885.37
Copper Dipertti Scholarship		72.00	72.00				18,647.69	24,391.58
Recreation Scholarship		6.22	6.22				673.59	745.59
Maize Harrison Scholarship		10.34	10.34				3,696.60	3,702.22
Daniel Leman Scholarship				500.00		500.00	10,464.02	9,974.36
U.S. Lowell Awards Memorial		5.32	5.32				1,865.06	4,365.06
Mark A. Perry Memorial		33.37	33.37	600.00		600.00	3,690.09	3,195.32
Katherine & Samuel Sewall Scholarship		131.27	131.27	1,200.00		1,200.00	22,731.59	21,564.96
Daniel & Priscilla Campbell Memorial	300.00						13,038.40	13,479.67
Ralph Hilton Scholarship	5,909.90	19.72	6,019.72				17,611.99	22,631.71
Cemetery Operations				28,575.55		28,575.55	41,553.33	14,977.78
Total	\$ 10,792.64	\$ 305,199.24	\$ 315,992.88	\$ 4,293.50	\$ 28,575.55	\$ 32,869.05	\$ 2,972,249.53	\$ 3,358,333.33

RECEIVED
 TOWN OF WISTASSSET
 JUN 29 2018

UNIVERSITY OF WISCONSIN
COMBINED STATEMENT OF REVENUES, EXPENDITURES, AND CHANGES IN FUND BALANCES
CAPITAL RESERVE FUNDS
FOR THE YEAR ENDING JUNE 30, 2018

Table with columns: REVENUES, EXPENDITURES, CAPITAL RESERVE FUNDS, INVESTMENT INCOME, REVENUES, EXPENDITURES, OPERATING, OTHER THAN OPERATING, SOURCES, FUND BALANCE, FUND BALANCE, FUND BALANCE, FUND BALANCE. Rows include categories like Capital Reserve Funds, Investment Income, Revenues, Expenditures, and various sub-items like Tuition, Fees, and Salaries.

UNIVERSITY OF WISCONSIN
STATE OF WISCONSIN
DEPARTMENT OF REVENUE
MADISON, WISCONSIN

PRELIMINARY DRAFT
FOR OFFICIAL USE ONLY

10c

000906

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on October 05, 2016, release to INNES RYAN a certain parcel of land located at 8 CLOVER LANE with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U13-19-A on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:

- Date recorded September 11, 2009 Book and Page 4198 /311
- Date recorded January 22, 2010 Book and Page 4243/252
- Date recorded December 11, 2012 Book and Page 4603/295
- Date recorded November 1, 2013 Book and Page 4728/234
- Date recorded January 20, 2015 Book and Page 4855/124
- Date recorded June 13, 2016 Book and Page 5015/90

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this September 04, 2018

Board of Selectmen, Wiscasset, Maine

Judy Colby, Chair

Benjamin Rines, Jr.

Robert Blagden

Katharine Martin-Savage

COPY

Kimberly Andersson

STATE OF MAINE
COUNTY OF LINCOLN, ss

September 04, 2018

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

000707

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on February 08, 2018, release to HEALD STEPHEN L a certain parcel of land located at 23 PAGE AVENUE with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U11-15 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:

Date recorded March 16, 2016 Book and Page 5015 /87

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this September 04, 2018

Board of Selectmen, Wiscasset, Maine

Judy Colby, Chair

Benjamin Rines, Jr.

Robert Blagden

Katharine Martin-Savage

Kimberly Andersson

STATE OF MAINE
COUNTY OF LINCOLN, ss

September 04, 2018

COPY

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020



000598

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on March 07, 2011, release to BREWER III, VERNON C. and BREWER, BRIDGETTE, a certain parcel of land located at 26 OLD STAGE ROAD with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map R07-84B on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows: August 29, 2007 BOOK AND PAGE 3900/188

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

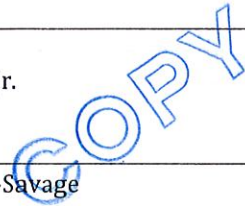
Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020



000216

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on August 01, 2017, release to BROWN, MARSHA R. and BROWN, DAVID M. a certain parcel of land located at 40 WATER STREET with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U01-83 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:

January 20, 2015 BOOK AND PAGE 4855/120

June 13, 2016 BOOK AND PAGE 5015/83

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

000543

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on December 02, 2013, release to DUTTON SR, KENDALL W a certain parcel of land located at 311 OLD BATH ROAD with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U23-1A on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:

January 17, 2008 BOOK AND PAGE 3957/11

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

COPY

000907

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on August 01, 2011, release to JORDING SARAH a certain parcel of land located at 11 CLOVERLANE with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U13-019-B on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:
September 11, 2009 BOOK AND PAGE 4198/312

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

COPY

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

000378

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on June 18, 2010, release to KOEHLING, DOUGLAS and WARREN, ELMER & HEIDI a certain parcel of land located at 215 GARDINER ROAD with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map R06-24 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:

- March 10, 2009 BOOK AND PAGE 4110/139
- September 24, 2008 BOOK AND PAGE 4054/124
- February 26, 2008 BOOK AND PAGE 3968/204
- October 26, 2007 BOOK AND PAGE 3926/34

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

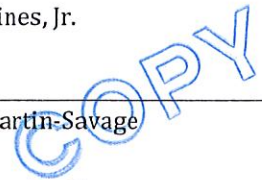
Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020



000333

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on November 15, 2017, release to MAREAN KARL J a certain parcel of land located at 6 HOOPER STREET with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U02-84 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:

January 20, 2015 BOOK AND PAGE 4855/129

November 01, 2013 BOOK AND PAGE 4728/249

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

000132

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on January 27, 2017, release to MUSICAL WONDER HOUSE and CARVALHO, PAULO CARVALHO, NAOMI a certain parcel of land located at 18 HIGH STREET with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U01-163 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:

December 11, 2012 BOOK AND PAGE 4603/314

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

00092

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on October 24, 2017, release to SAMPSON, MATTHEW M. and SAMPSON, LISA V. a certain parcel of land located at 25 PINEWOOD DRIVE with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U13-8 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows: January 20, 2015 BOOK AND PAGE 4855/152

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

COPY

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

000713

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on December 11, 2017, release to THIBEAULT SHENA a certain parcel of land located at 7 DANFORTH STREET with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map U02-89 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:
January 20, 2015 BOOK AND PAGE 4855/154

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss



PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

000611

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on December 05, 2010, release to WYMAN, STUART R.T. and WYMAN, ELAINE M. a certain parcel of land located at 283 GARDINER ROAD with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map R6-17-2 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows: March 10, 2009 BOOK AND PAGE 4110/147

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

COPY

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

000464

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on December 14, 2015, release to PATTERSON, SAM and PATTERSON'S TRAILER PARK a certain parcel of land located at 285 BIRCH POINT ROAD with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map R07-39 (1-21) on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows:

September 10, 2007 BOOK AND PAGE 3906/35

January 17, 2008 BOOK AND PAGE 3957/13

January 20, 2015 BOOK AND PAGE 4855/148

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

COPY

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020

000264

Municipal Quitclaim Deed without Covenants

KNOW ALL PERSONS BY THESE PRESENTS THAT the Inhabitants of the Municipality of WISCASSET a body, corporate and politic located in LINCOLN County, State of Maine, for consideration paid on November 08, 2016, release to MASON STATION LLC a certain parcel of land located at 144 BIRCH POINT ROAD with buildings thereon, if any, located in the Municipality of WISCASSET, LINCOLN, County, State of Maine, identified as follows:

Map R07-1-81 on the Tax Maps of the Municipality of WISCASSET, prepared by John E. O'Donnell & Associates and dated April 1, 2017 on file in the Office of the Assessors at 51 Bath Road, Wiscasset, Maine. The Municipality of WISCASSET has acquired its interest in said parcel of land through automatic foreclosure of sewer lien(s) recorded in the Lincoln County Registry of Deeds as follows: January 22, 2010 BOOK AND PAGE 4243/257

The said Inhabitants of the Municipality of WISCASSET have caused this instrument to be signed in its corporate name by its Board of Selectmen, duly authorized.

Witness our hands and seals this _____

Board of Selectmen, Wiscasset, Maine

Judy R. Colby, Chair

Benjamin L. Rines, Jr.

COPY

Robert L. Blagden

Katharine G. Martin-Savage

Kimberly H. Andersson

WISCASSET
STATE OF MAINE
COUNTY OF LINCOLN, ss

PERSONALLY APPEARED the above named BOARD OF SELECTMEN in his/her capacity as Selectman of the Town of Wiscasset, Maine and acknowledged the foregoing instrument to be his/her free act and deed in his/her said capacity and the free act and deed of said Town.

COPY

ELLIN L. JASMIN, Notary Public
My commission expires: December 05, 2020



MAINE MUNICIPAL ASSOCIATION

Risk Management Services

60 Community Drive
P.O. Box 9109
Augusta, Maine 04332-9109

Telephone No.

(207) 626-5583
(800) 590-5583 Maine Only
Fax No. (207) 626-0513

10e

DATE: August 10, 2018

TO: Members of the Workers Compensation Fund and the Property & Casualty Pool

FROM: Michelle Pelletier, CPCU, AU
Director, Risk Management Services

RE: Dividend Payments

We are pleased to announce that the Board of Trustees of the **MMA Workers Compensation Fund** voted at its May 24, 2018 meeting to allow a total dividend of no more than \$650,000 to the members of the Fund who meet the established criteria. Continuing members whose 2017 contributions are greater than \$25,000 annually, whose 2017 loss ratio is less than 40% and whose three-year loss ratio is less than 75% will receive a 5.33% dividend. Continuing members whose 2017 contributions are less than \$25,000 annually and whose loss ratio is less than 50% for the three years ending December 31, 2017, will also receive a 5.33% dividend. All losses are valued as of June 30, 2018.

The Board of Directors of the **MMA Property & Casualty Pool** voted at its May 24, 2018 meeting to allow a dividend to current members of the Pool who meet the established criteria. To earn a dividend, a member must have a loss ratio of 50% or less for the qualifying year of July 1, 2016 to July 1, 2017, calculated and valued as of June 30, 2018. Continuing members whose participation began on July 1, 2012 or prior will earn a 5.4% dividend and members who joined after July 2, 2012 will receive a 4.4% dividend.

Cost savings are realized in providing services to members who participate in both the Property & Casualty Pool and the Workers Compensation Fund. In recognition of the savings, both boards voted to add 1% to the dividends for each program for members who qualify and earn a dividend. If you are among the members who participate in both the Workers Compensation Fund and the Property & Casualty Pool, and you earned a dividend for either or both programs, the additional 1% has been included in the calculation.

Your entity has played a big part of making the Workers Compensation Fund and the Property & Casualty Pool successful programs through good risk management and sound loss prevention. Each of the respective boards are pleased with the results of these programs and thanks you for your support and continued participation. The final dividend distribution for the Workers Compensation Fund and Property & Casualty Pool totals \$1,249,861.

We encourage you to use the enclosed press release to announce the results of your successful risk management activities and good loss experience to your community. If you have any questions about the dividend or any of the Risk Management Services programs, please call me at 1-800-590-5583.

PRESS RELEASE
For Immediate Release

Municipal officials are pleased to announce that the **Town of Wiscasset** has received a **\$7,559** dividend check from the Maine Municipal Association as a result of its good loss experience and loss prevention programs.

The Maine Municipal Association offers three self-funded pools for municipal and quasi-public entities in Maine: the Workers Compensation Fund formed in 1978, the Property & Casualty Pool formed in 1987 and the Unemployment Compensation Fund formed in 1978.

The programs are overseen by governing boards of elected and appointed municipal officials. At its May meeting, the board approved another dividend distribution. Actual allocation and eligibility is based on the individual member's own loss experience. Michelle Pelletier, Director of Risk Management Services for MMA, said more than 79 percent of program participants received a dividend this year for their good risk management practices and favorable loss experience.

This year the Workers Compensation Fund has distributed almost **\$650,000** in dividends to participants and the Property and Casualty Pool has paid dividends of nearly **\$600,000**, for total payments of just over \$1.2 million returned directly to MMA members.

Maine Municipal Association has been paying dividends since 1997, the two programs have returned over **\$22 million** to participating members. For more information about any of the MMA Risk Management Services programs, including online training programs and other services, check the offerings on their website at www.memun.org and click on the Risk Management Services link, or call 1-800-590-5583.

INVOICE NUMBER	INVOICE DATE	DESCRIPTION	GROSS AMOUNT	DISCOUNT	NET AMOUNT
PC 1617 DIV	8/6/2018	Vchr: VO119089	\$7,559.00	\$0.00	\$7,559.00
PRINT BATCH	VENDOR CODE	PAY TO NAME			NET TOTAL
3,090	15190	TOWN OF WISCASSET			\$7,559.00

COPY

THIS DOCUMENT IS PRINTED WITH A COLORED BACKGROUND ON WHITE PAPER.
THE BACK OF THIS DOCUMENT CONTAINS A WATERMARK. SEE BACK FOR ADDITIONAL SECURITY FEATURE DETAILS.



Maine Municipal Association
60 Community Drive
Augusta, Maine 04330-9486

Bangor Savings Bank
Bangor ME 04401
Fed ID 01-6001159
Maine Sales Tax Exempt E45376

52-7438/2112

DATE	8/6/2018	CHECK #	BSBGF181926
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AMOUNT	\$7,559.00
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PAY Seven thousand five hundred fifty-nine and 00 / 100 Dollars Only *****

TO THE ORDER OF TOWN OF WISCASSET
51 BATH ROAD
WISCASSET, ME 04578-4108

Second Signature Required if over \$20,000

STATE OF MAINE

12a

Lincoln ss

To the Assessors of the Town of Wiscasset in said County, GREETING:

Whereas, pursuant to 30-A, M.R.S.A., Section 791, the County Commissioners for said County, have fixed the sums necessary for defraying the charges of the County for the year ensuing, and exhibited by the Clerk of said Court, and have determined a tax of \$9,948,821.00,

Nine million, nine hundred forty-eight thousand, eight hundred twenty-one and 00/100ths Dollars to be assessed collected and paid according to law and applied for the purposes aforesaid.

And Whereas, the Court of County Commissioners, holden at Wiscasset, in and for the County of Lincoln, by adjournment, on the Second day of May, A.D. 2018, made apportionment of said tax as the law directs upon several Towns and Cities in said County and ordered that the Clerk in said County forthwith send out warrants for assessing the Towns' proportion thereof as the law directs and for paying the same.

And Whereas upon a due apportionment of said sum, your Town's proportion thereof is found to be Six hundred eleven thousand, three hundred fifty-three and 83/100ths Dollars.

\$611,353.83

You are, therefore, hereby required, in the name of the State of Maine, to assess the sum last mentioned, upon the inhabitants of said Town of Wiscasset, agreeably to the laws of said State, and cause the same in like manner to be collected and paid to the Treasurer of the said Town of Wiscasset to be paid by him to Richard H. Newell, Treasurer of Said County of Lincoln, or to his successor in office, upon his warrant issued for the same, on or before the first day of September next. **Interest payable on the thirty first day of October A.D. 2018 at annual rate of 7%** - see Title 36, Section 507 and 892A.

Whereof Fail Not, and make due return to the said County Treasurer, of the names of the person or persons to whom your list or lists of assessments shall be committed, as soon as may be thereafter.

Witness Hamilton Meserve, Chairman of the Court of County Commissioners this Second day of May, A.D. 2018.



Carrie Kipfer
County Administrator

ASSESSORS' RETURN

Pursuant to a Warrant to us directed, from Carrie Kipfer Esq., Clerk of the Court of County Commissioners for the County of Lincoln, dated the 2nd day of May, 2018, we have assessed the polls and estates of the Inhabitants, and the estates of the non-resident proprietors, of the Town of Wiscasset in said County, the sum of \$611,353.83 and have committed lists thereof to _____, Collector of said town, with a warrant in due form of law, for collecting and paying the same to the Treasurer of the Town of Wiscasset or his/her successor in office, to be paid by him/her to Richard H. Newell, Jr. Esq., Treasurer of the County of Lincoln, or his successor in said office, upon his warrant issued for the same, on or before the first day of September next.

In Witness Whereof, we have hereunto set our hands this _____ day of _____ 2018.

Assessors of Town of Wiscasset

\$611,353.83

To: **County of Lincoln**
P.O. Box 249
Wiscasset, ME 04578

To be filled out and forwarded to the County Finance Director as soon as the assessment shall be completed.

2018 LINCOLN COUNTY TAX COMMITMENT

MUNICIPALITIES	2018 State Valuation	2018 Tax Commitment
ALNA	\$ 82,600,000.00	\$ 110,813.75
BOOTHBAY	\$ 981,250,000.00	\$ 1,316,416.38
BOOTHBAY HARBOR	\$ 762,250,000.00	\$ 1,022,612.37
BREMEN	\$ 195,600,000.00	\$ 262,411.26
BRISTOL	\$ 990,350,000.00	\$ 1,328,624.68
DAMARISCOTTA	\$ 346,750,000.00	\$ 465,189.69
DRESDEN	\$ 138,300,000.00	\$ 185,539.25
EDGECOMB	\$ 223,750,000.00	\$ 300,176.47
JEFFERSON	\$ 347,450,000.00	\$ 466,128.79
MONHEGAN PLANTATION	\$ 82,350,000.00	\$ 110,478.36
NEWCASTLE	\$ 281,850,000.00	\$ 378,121.74
NOBLEBORO	\$ 317,700,000.00	\$ 426,217.05
SOMERVILLE	\$ 54,400,000.00	\$ 72,981.45
SOUTH BRISTOL	\$ 619,900,000.00	\$ 831,639.76
SOUTHPORT	\$ 647,450,000.00	\$ 868,600.04
WALDOBORO	\$ 483,300,000.00	\$ 648,381.18
WESTPORT ISLAND	\$ 203,100,000.00	\$ 272,473.04
WHITEFIELD	\$ 186,950,000.00	\$ 250,806.67
WISCASSET	\$ 455,700,000.00	\$ 611,353.83
TOTAL	\$ 7,401,000,000.00	\$ 9,928,965.75
UNORGANIZED TERRITORY	\$ 14,800,000.00	\$ 19,855.25
GRAND TOTAL	\$ 7,415,800,000.00	\$ 9,948,821.00

DATED AT WISCASSET, MAINE
this 1st day of May A.D. 2018

TOTAL 2018 EXPENDITURE	\$ 11,551,815.00
LESS 2018 REVENUE	\$ 1,520,389.00
2018 ADJUSTED BUDGET	\$ 10,031,426.00
LESS 2017 SURPLUS	\$ 170,262.00
BALANCE	\$ 9,861,164.00
PLUS OVERLAY (max 2%)	\$ 87,657.00
TOTAL TO BE RAISED BY TAXATION	\$ 9,948,821.00

2017 SURPLUS	\$ 602,694.00
TRANSFER TO OPERATING RESERVE	\$ 432,432.00
BALANCE OF SURPLUS AGAINST TAXES	\$ 170,262.00

TAX RATE (Commitment divided by Valuation) 0.001341571

APPROVED BY:
Lincoln County Commissioners


Hamilton Meservé, Chair


William B. Blodgett


Mary R. Truscot